

PLANNING AND ZONING COMMISSION WORK SESSION MEETING CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS <u>MARCH 25, 2025</u> IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

<u>NOTES</u>: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT <u>HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES</u>, AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE <u>CLICK HERE</u> OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) <u>APPOINTMENTS</u>

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.
- (2) Appointment with Jerret Smith to consider a request to submit a new zoning application for a Specific Use Permit (SUP) in accordance with Section 02.05(C), *Reapplication*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and take any action necessary.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do <u>not</u> involve discretionary approvals.

(3) Approval of Minutes for the March 11, 2025 Planning and Zoning Commission meeting.

(4) P2025-008 (BETHANY ROSS)

Consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a <u>Preliminary</u> <u>Plat</u> for Lot 1, Block A, Ridge Road Addition being a 12.1462-acre tract of land identified as Tract 2 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 4 (PD-4) [Ordinance No. 24-02] for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, generally located east of the intersection of Ridge Road [*FM*-740] and Becky Lane, and take any action necessary.

(5) P2025-010 (BETHANY ROSS)

Consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a <u>Replat</u> for Lots 9, 10, & 11, Block A, Rockwall Technology Park Addition being a 23.1612-acre parcel of land identified as Lots 5, 7, & 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, generally located at the northwest corner of the intersection of SH-276 and Corporate Crossing [*FM*-549], and take any action necessary.

(V) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(6) MIS2025-005 (BETHANY ROSS)

Discuss and consider a request by Dnyanada Nevgi of SRC Land Building and Real Estate, LLC on behalf of Rajesh Malviya of Buffalo Country Properties, LLC for the approval of a <u>Miscellaneous Request</u> for an <u>Exception</u> to the <u>Screening Requirements</u> for <u>Residential Adjacency</u> for a 2.649-acre parcel of land identified as Lot 13, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 950 E. Ralph Hall Parkway, and take any action necessary.

(7) MIS2025-006 (HENRY LEE)

Discuss and consider a request by Daniel Melendez for the approval of a <u>Miscellaneous Request</u> for an Exception to allow synthetic plant materials on a 0.1230-acre parcel of land identified as Lot 12, Block A, Chandlers Landing, Phase 14, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 23-40], addressed as 304 Shamrock Circle, and take any action necessary.

(8) Hold an election to elect a Chairman and (*if necessary*) Vice-Chairman for the Planning and Zoning Commission in accordance with Subsection 03.03(B) of Article 02, *Development Review Authority*, of the Unified Development Code (UDC), and take any action necessary.

(VI) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is <u>April 15, 2025</u>.

(9) Z2025-012 (ANGELICA GUEVARA)

Hold a public hearing to discuss and consider a request by David Gamez for the approval of a <u>Specific Use Permit (SUP)</u> for *Residential Infill in an Established Subdivision* on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 614 E. Boydstun Avenue, and take any action necessary.

(10) Z2025-013 (ANGELICA GUEVARA)

Hold a public hearing to discuss and consider a request by Brandon Spruill of Spruill Homes on behalf of Hallie Fleming for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision on a ten (10) acre tract of land identified Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 588 Cornelius Road, and take any action necessary.

(11) Z2025-014 (BETHANY ROSS)

Hold a public hearing to discuss and consider a request by Alexander Trujillo for the approval of a <u>Specific Use Permit (SUP)</u> for *Minor Automotive Repair Garage* on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116, and take any action necessary.

(12) Z2025-015 (ANGELICA GUEVARA)

Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes for the approval of a <u>Specific Use</u> <u>Permit (SUP)</u> for Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S. Clark Street, and take any action necessary.

(13) Z2025-016 (HENRY LEE)

Hold a public hearing to discuss and consider a request by Ryan Joyce for the approval of a <u>Specific Use Permit (SUP)</u> for an *Accessory Building* on a 2.71-acre parcel of land identified as Lot 6, Block B, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) [Ordinance No. 19-26] for Single-Family 1 (SF-1) District land uses, addressed as 2201 Sanderson Lane, and take any action necessary.

(14) SP2025-011 (HENRY LEE)

Discuss and consider a request by Drew Donosky of Claymoore Engineering for the approval of a <u>Site Plan</u> for the expansion of an existing *Mini-Warehouse Facility* on a 5.00-acre tract of land identified as Tract 2-6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) [*Ordinance No. 25-12*] for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2301 SH-276, and take any action necessary.

(15) SP2025-012 (HENRY LEE)

Discuss and consider a request by Frank Polma P.E. of R-Delta Engineers, Inc. on behalf of David Naylor of Rayburn Electric Cooperative for the approval of a <u>Site Plan</u> for a *Private Indoor Gun Range* on a 1.407-acre portion of a larger 48.6670-acre tract of land identified as Tract 3 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) [*Ordinance No. 24-30*] for Heavy Commercial (HC) District land uses, generally located on the northside of Mims Road west of the intersection of S. Goliad Street [*SH-205*] and Mims Road, and take any action necessary.

(16) Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2025-004: Preliminary Plat for Phases 1 & 2 of the Juniper Subdivision (APPROVED)
- P2025-005: Master Plat for the Juniper Subdivision (APPROVED)
- MIS2025-002: Appeal of a Planning and Zoning Commission Decision on an *Exception* to the *Fence Standards* for 1511 Orion Drive (**DENIED**)
- MIS2025-004: Miscellaneous Request for an Exception to the Utility Placement Standards for the REDC (POSTPONED TO APRIL 21, 2025)
- Z2025-004: Specific Use Permit (SUP) for a Guest Quarters/Secondary Living Unit and Agricultural Accessory Building/Barn for 2201 E. FM-550 (1st READING; APPROVED)
- Z2025-005: Zoning Change (AG to PD) for the Erwin Farms Subdivision (PD-46) (1st READING; APPROVED)
- Z2025-006: Zoning Change (AG to GR) for the SEC of John King Boulevard and E. Quail Run Road (1st READING; APPROVED)
- Z2025-007: Specific Use Permit (SUP) for a House of Worship for 917 N. Goliad Street (1st READING; APPROVED)
- Z2025-008: Zoning Change (AG to GR) for the SEC of John King Boulevard and FM-552 (1st READING; APPROVED)
- Z2025-009: Specific Use Permit (SUP) for a Short-Term Rental at 1827 Mystic Street (DENIED)
- Z2025-010: Amendment to Planned Development District 50 (PD-50) (1st READING; APPROVED)
- Z2025-011: PD Development Plan for Townhomes along Glen Hill Way (POSTPONED TO APRIL 21, 2025)

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on <u>March 21, 2025</u> at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	Jerret Smith
DATE:	March 25, 2025
SUBJECT:	Reapplication Request for Specific Use Permit (SUP) at 704 S. Alamo Road

On November 15, 2024, the applicant -- *Jerret Smith* -- submitted an application for a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a new single-family home on a 0.1960-acre parcel of land. On December 10, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 6-0, with Commissioner Conway absent; however, on December 16, 2024, the City Council approved a motion to deny the *Specific Use Permit (SUP)* by a vote of 6-0, with Council Member McCallum absent. The stated reason for the denial was due to the applicant not being present at the meeting. Since the motion to deny passed and no subsequent motion was made, the motion is considered to be a denial with prejudice [*Subsection 02.05(B)(2); Article 11; UDC*].

According to Subsection 02.05(C), *Reapplication*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(a) request for a zoning change, Specific Use Permit (SUP), or text amendment which has previously been denied with prejudice by the City Council may be resubmitted within one (1) year if there is: [1] An actual change in conditions relating to the lot or tract of land -- *or any portion thereof* -- or any surrounding properties; or, [2] The new request is for a more restrictive or less intense land use than the previously denied request." Under this circumstance the Director of Planning and Zoning is to review the request and report to the Planning and Zoning Commission on whether or not such request the aforementioned criteria, and the Planning and Zoning Commission is to either grant or deny the request for reapplication.

On March 11, 2024, the applicant submitted a letter to the Director of Planning and Zoning requesting to resubmit an application, incorporating revised building elevations and a new plot plan. The proposed revisions are intended to ensure compliance with roof pitch and building setback requirements as outlined in Article 05, *District Development Standards*, of the Unified Development Code (UDC). Additionally, the applicant has confirmed that they or a designated representative will attend all future meetings, addressing a key factor that contributed to the initial denial of the application. Based on the applicant's proposed changes stated above, staff has determined that the applicant's request is a substantial enough change to warrant bringing the request forward to the Planning and Zoning Commission; however, the Planning and Zoning Commission is being tasked with determining if the applicant should be permitted to refile an applicant will be available at the *March 25, 2025* meeting.

To The City of Rockwall Planning and Zoning,

Jerret and Alicia Smith would like to submit a "Change in Condition" for:

704 S Alamo

Rockwall TX 75032

We will be making changes to our plan elevations and set back lines and willing to meet your requirements to be considered for the change in condition.

For New Single Family Residents.

We are asking for a resubmit with these condition and that a representative or the applicant will be present at <u>all</u> the meetings

Thank You Jerret Smith 469-409-8515

MINUTES

PLANNING AND ZONING COMMISSION MEETING CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS MARCH 11, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

<u>NOTES</u>: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT <u>HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES</u>, AND [2] TO PROVIDE INPUT ON A ZONING OR NOTES: ADDITIONAL CASE **INFORMATION** CAN BE FOUND AT SPECIFIC USE PERMIT CASE PLEASE CLICK HERE OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE. I.CALL TO ORDER Chairman Deckard called the meeting to order at 6:00PM. Commissioners present were Vice-Chairman John Womble, Dr. Jean Conway, Kyle Thompson, Jay Odom and John Hagaman. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee, Planner Bethany Ross, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams, Assistant City Engineer Jonathan Browning and Civil Engineer Madelyn price. **II.APPOINTMENTS** 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review. Director of Planning and Zoning Ryan Miler advised staff would provide ARB recommendations when staff presents the case. **III.OPEN FORUM**

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time.

Ryan Joyce 767 Justin Road Rockwall, TX 75087

Mr. Joyce came forward and announced that on April 4th and 5th there will be a Rockwall County 4H Youth Livestock Show and Sale at Tate Farms.

Jeff Baron 2324 Saddlebrook Lane Rockwall, TX 75032

Mr. Baron came forward and explained he didn't see any upcoming projects in regards to parks and didn't see any right turn lanes and left turn lanes to enter and exit the new subdivisions.

Bob Wacker 309 Featherstone Drive

Rockwall, TX 75087

Mr. Wacker expressed concerns how City Council reviews the 380 agreements in executive session. He claimed the 380 agreements are not disclosed to the public, and the public is not made aware of these matters.

Chairman Deckard asked if anyone who wished to speak to come forward at this time; there being no one indicating such Chairman Deckard closed the open forum.

IV.CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

2. Approval of Minutes for the *February 25, 2025* Planning and Zoning Commission meeting.

60 3. **P2025-004 (HENRY LEE)**

Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Developments (US), Inc. for the approval of a <u>Preliminary Plat</u> for Phase 1 & 2 of the Juniper Subdivision consisting of 366 single-family residential lots on a 195.685-acre tract of land identified as part of Tract 3 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; and Tract 7 of the W. H. Baird Survey, Abstract No. 25 [20.3942-acres], City of Rockwall, Rockwall County, Texas, zoned Planned Development District 103 (PD-103) for Single-Family 10 (SF-10) and limited General Retail (GR) District land uses,

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situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.

68 4. P2025-005 (HENRY LEE)

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Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Developments (US), Inc. for the approval of a <u>Master Plat</u> for the Juniper Subdivision consisting of 870 single-family residential lots on a 526.778-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tract 7 of the W. H. Baird Survey, Abstract No. 25 [20.3942-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Planned Development District 103 (PD-103) for Single-Family 10 (SF-10) and limited General Retail (GR) District land uses, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.

Commissioner Conway made a motion to approve the Consent Agenda. Vice-Chairman Womble seconded the motion which passed by a vote of 7-0.

80 V.PUBLIC HEARING ITEMS 81

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a <u>Request to Address the Planning and Zoning Commission</u> (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

87 5. **Z2025-004 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Corey Smith on behalf of Destiny Smith for the approval of a <u>Specific Use Permit (SUP)</u> allowing a
 Guest Quarters/Secondary Living Unit and an *Agricultural Accessory Building/Barn* on a 10.00-acre tract of land identified as Tract 1-5 of the J. W. Pitman
 Survey, Abstract No. 181, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 2201 E. FM-550, and take any action
 necessary.

93 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant is proposing a Specific Use Permit (SUP) for 94 an agricultural accessory structure and a guest quarters/ secondary living unit. The proposal was initially presented through an internal case to staff. 95 Since the accessory structure has been built they had to pay the non-compliance structure fee when they submitted for the SUP since it was built 96 without a permit. There are two components to this case. It being a guest guarters and an agricultural accessory building. In regard to the agricultural 97 accessory building that portion of the structure is 3,225 SF and the guest quarters/ secondary living unit is 960 SF. When looking at the Unified 98 Development Code (UDC) it is within the requirements in terms of the size. The other component to look at would be the roof pitch and the roof pitch 99 minimum is a 3:12. The primary portion of the building is a 4:12 but the covered parking area is 1:12. Staff is working through comments with the 100 applicant for a site an of the property showing where its located. Staff mailed out four (4) notices to property owners and occupants. 101

102 Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating 103 such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action. 104

105 Vice-Chairman Womble made a motion to approve Z2025-004. Commissioner Hustings seconded the motion which passed by a vote of 7-0.

107 6. Z2025-005 (BETHANY ROSS)

Hold a public hearing to discuss and consider a request by Adam Buczek of the Skorburg Company on behalf of Dr. Karl Erwin of the Estate of Karl W. Erwin for the approval of a *Zoning Change* from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 98.40-acre tract of land identified as a portion of Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas zoned Agricultural (AG) District, generally located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141, and take any action necessary.

114 Director of Planning & Zoning Ryan Miller provided a brief summary in regard to the applicants request. The applicant is requesting to rezone the 115 property to establish a planned development district for a 123-lot single-family subdivision. Now the proposed subdivision will consist of three lot 116 sizes. This being 100 lots measuring a minimum of 100 x 120 or 12,00SF. 17 lots measuring a minimum of 120 x 230 or a minimum of 3 quarters of 117 an acre. Six (6) lots measuring a minimum of 120 x 275 or 1acre in size. This equates to a density of 1.25 dwelling units per acre. In addition, the 118 minimum dwelling unit size for all lots will be a minimum of 2800 SF and the lot product will be consistent with the general residential district 119 standards. It will be 100% masonry with previsions that allow up to 50% Cementous fiberboard and the PD ordinance will incorporate the City's anti-120 monotony standards. The concept plan also shows previsions of 33.19 acres of open space that consist of 17.15 acres of private open space and 121 16.04 acres of floodplain this equates to a total of 25.58%. The applicant is requesting to utilize OSSF (on site sewage facilities) on the 3 quarters of 122 an acre and 1 acre lots. The City has granted OSSF in the past for lots that were 1 acre or greater. Another aspect that would a discretionary decision 123 is the size of the streets that are adjacent to the private open space. As of now staff has received eight (8) notices in return in opposition and one (1) 124 notice returned in favor. Staff should note only one of the notices in opposition was inside the 500-foot buffer. 125

126 Commissioner Hustings asked about the size in regards to the septic system. 127

128 Director of Planning and Zoning Ryan Miller explained it was an inter-local agreement with the county. 129

130 Adam Buczeck

131 8214 Wechester Drive

132 Dallas, TX 75225

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134 135		Mr. Buczek came forward and briefly went over the comprehensive plan and explained the Comprehensive plan designation. Also went over lot mix density. There will be incorporation 8-foot-wide sidewalk trail in the subdivision and will be adding a full loop to meet for amenity center. Also
136		explained how they will have a breezy hill pavilion and will incorporate two (2) detention ponds. There will also be 2 linear parking spaces for extra
137		space.
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139		Commissioner Thompson asked about the 3 quarter and 1 acre lots with having a septic system with a lot that small if they have to draw half an acre
140		for the system.
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142		Director of Engineering explained they wouldn't be able to discharge it into a creek or stream. It would have to go through their yard and go through
143 144		a certain amount of space between the filed. It would just depend as to where they would incorporate it.
145		Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time.
146		Chaiman Deckard Opened the public nearing and asked anyone who wished to speak to come forward at this time.
147		Jeff Baron
148		2324 Saddlebrook Lane
149		Rockwall, TX 75032
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151		Mr. Barron explained he did not receive a notice and explained he lives on the other side of 1141.
152 153		Director of Planning and Zoning Ryan Miller explained that property owners and occupants within 500 feet of the subject property and also notify all
154		HOA's that participate in the Neighborhood Notification Program within 1500 Feet.
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156		Bob Wacker
157		309 Featherstone
158		Rockwall, TX 75087
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160 161		Mr. Wacker came forward and asked if the OSSF will have its own island or if they'll be surrounded by sewers.
162		Stan Jeffus
163		2606 Cypress Drive
164		Rockwall, TX 75087
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166 167		Mr. Jeffus came forward and asked why they won't add the 1 acre lots to the sewer lines.
168		Chairman Deckard asked if anyone else who wished to speak to come forward at this time. There being no one indicating such, Chairman Deckard
169		closed the public hearing and brought the item back to Commission for discussion or action.
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171		Commissioner Hagaman explained that City of Rockwall does not have a water issue.
172 173		Commissionar Husting explained that the project looks better then what was first proposed
174		Commissioner Husting explained that the project looks better then what was first proposed.
175		Commissioner Conway made a motion to approve Z2025-005. Chairman Deckard seconded the motion which passed by a vote of 7-0.
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177	7.	Z2025-006 (BETHANY ROSS)
178		Hold a public hearing to discuss and consider a request by Lisa Brooks and Rene'e Holland of Makeway, LLC for the approval of a Zoning Change from an
179		Agricultural (AG) District to a General Retail (GR) District for a 2.751-acre tract of land identified as Tract 1-04 of the S. R. Barnes Survey, Abstract No. 13, City
180 181		of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the southeast corner of the intersection of John King Boulevard and Quail Run Road, and take any action necessary.
182		Southeast correction of the intersection of John King Boulevalu and Quali Kun Koad, and take any action necessary.
183		Director of Planning and Zoning Ryan Miller provided a brief summary in regard to the applicants request. In 2021 the City Council denied a zoning
184		change for this property and it was to change from an Agricultural district to a Neighborhood service district to establish a strip retail center. The
185		applicant is requesting to rezone the subject property from an agricultural to a general retail district. They intent to establish a daycare facility. When
186		looking at the future land use map it is designated for low density residential land uses that meaning should the proposed zoning change be approved
187		it would require to amend the plan and the future land use map to reclassify the property to a commercial (retail designation. Staff should note the
188 189		property does not seem to be suitable for residential development as its currently situated on a major road way. In addition, the comprehensive plan
190		does support limited commercial uses adjacent to residential districts provided that they serve the immediate residential area. Incorporate buffering and transitional design to minimize residential impact and limit cut through traffic. Staff has also provided the land uses permitted in the
191		neighborhood services district and is a less intense district then the general retail district. It would be more appropriate zoning considering
192		residential adjacency to the north and east. However, this is a discretionary decision for the City Council pending recommendation from the Planning
193		and Zoning Commission.
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195		Craig Brooks
196 197		1215 Ridge Road West
197		Rockwall, TX 75087
199		Mr. Brooks came forward and provided additional details in regards to the request.
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Commissioner Odom aske the way this case is being presented right now will this case fit in neighborhood services.

203 Director of Planning and Zoning Ryan miller explained that it would fit in neighborhood services but they would need to get a specific use permit (SUP) since they are proposing a building larger then 5,000SF.

205 206 Scott Roberts 207 1020 Creekwood Drive 208 Garland, TX 75044 209

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210 Mr. Roberts came forward and provided additional details in regards to the applicants request.

212 Chairman Deckard opened the public hearing and asked if anyone who wished to speak to come forward at this time. There being no one indicating 213 such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action. 214

215 Chairman made a motion to approve Z2025-006 as a Neighborhood Service. Vice-Chairman Womble seconded the motion which passed by a vote 216 of 7-0.

218 8. Z2025-007 (HENRY LEE)

219 Hold a public hearing to discuss and consider a request by Tzemach Moshe Kalmenson for the approval of a Specific Use Permit (SUP) allowing a Church/House 220 of Worship on a 0.5010-acre tract of land identified as Block 29 of the Gardner Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development 221 District 50 (PD-50) [Ordinance No. 25-07], situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 917 N. Goliad Street, and take 222 any action necessary. 223

224 Senior Planner Henry Lee provided a brie summary in regard to the applicants request. The applicant previously submitted during the last cycle to 225 amend planned development district 50 (PD-50) to allow a church/ house of worship through a specific use permit (SUP). They are currently seeking 226 approval of a SUP to allow a church/house of worship on the subject property. They submitted a concept plan indicating they are using the existing 227 building. Staff mailed out notices to property owners and occupants within 500 foot of the subject property. At this time, there had not been any 228 notices in regards to the applicants request. 229

230 Tzemach Moshe Kalmenson

231 19510 Hidden Valley

232 Rockwall, TX 75087 233

234 Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating 235 such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action. 236

237 Vice-Chairman Womble made a motion to approve Z2025-007. Commissioner Conway seconded the motion which passed by a vote of 7-0. 238

239 9. Z2025-008 (BETHANY ROSS)

240 Hold a public hearing to discuss and consider a request by Pat Atkins of Saddle Star Land Development on behalf of Betty Thompson for the approval of a 241 Zoning Change from an Agricultural (AG) District to a General Retail (GR) District for a 6.511-acre identified as Tract 1-1 of the P. B. Harrison Survey, Abstract 242 No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located 243 at the southeast corner of the intersection of John King Boulevard and FM-552, and take any action necessary. 244

245 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the applicants request. The applicant is requesting to rezone the 246 subject property an Agricultural (AG) district to a General Retail (GR) district. According to the Unified Development Code (UDC) the General Retail 247 District is a zoning district intended to provide limited retail and service land uses. That would include most type of retail an office activity and are 248 typically located on or ate the major intersections of roadways. When looking at the future land use map it is designated for low density residential 249 land uses. Once again if this were to get approved this would change the future land use map to reclassify the property to a commercial retail 250 designation. In this case the subject property does have a large amount of flood plane that traverses the property. It leaves about 1.9-acre portion of 251 high and dry land. In addition, the subject property has frontage on two major roadways. However, due to the limited buildable area and residential 252 adjacency the general retail district may not be the most appropriate zoning classification. The reason for that is the residential adjacency and the 253 limited 1.9 acres of high and dry land. This is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning 254 Commission. Staff mailed out eight (8) notices to property owners and occupants and as of today staff received four (4) notices in opposition of this 255 request. The four (4) notices in return were outside the 500-foot buffer.

257 Commissioner Hagaman asked what property is diagonal from subject property. 258

Director of Planning and Zoning Ryan Miller explained that property is currently zoned for a Planned Development District for a Single-Family subdivision. Explained there is a lot of floodplain that runs through the center of the property.

Pat Atkins 614 Sumer Oaks Drive Rockwall, TX 75087

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267 268 Mr. Atkins came forward and provided additional details in regards to his request.

Chairman Deckard opened the public hearing and asked if anyone who wished to speak to come forward at this time.

269 270 Mike McElroy 271 605 Limmerhill Drive 272 Rockwall, TX 75087 273 274 Mr. McElroy came forward and asked what is the applicant's intent to add on the subject property. 275 276 Chairman Deckard asked if anyone else who wished to speak to come forward at this time. There being no one indicating such, Chairman Deckard 277 closed the public hearing and brought the item back to Commission for discussion or action. 278 279 Mr. Atkins came forward and explained they are currently working with the developers but nothing has been identified. 280 281 Director of Planning and Zoning Ryan Miller explained that the reason they are offering the Neighborhood services. The applicant mentioned the 282 property across the street to the limited retail that is on the property and stated that they wanted the same consideration. However, that is in a 283 Planned Development (PD) district and many of the uses that were removed from that general retail district align better with the neighborhood 284 services. 285 286 Commissioner Thompson mentioned Neighborhood services would be a better idea for the subject property. 287 288 Commissioner Hustings made a motion to approve Z2025-008 as Neighborhood Services. Chairman Deckard seconded the motion which passed by 289 a vote of 6-1 with Commissioner Hagaman dissenting. 290 291 10. Z2025-009 (ANGELICA GUEVARA) 292 Hold a public hearing to discuss and consider a request by Caprice Michelle for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 293 0.1237-acre parcel of land identified as Lot 1, Block B, Newport Place Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 294 19 (PD-19), addressed as 1827 Mystic Street, and take any action necessary. 295 296 Planning Technician Angelica Guevara provided a brief summary in regard to the applicants request. The applicant is requesting approval of a 297 Specific Use Permit (SUP) for the purpose of allowing a Short-Term Rental (non-owner occupied). It is located within 1,000 feet of two (2) existing 298 non-owner-occupied STR. In this case, only one non-owner occupied STR applied for the STR permit within the three (3) month grace period. The 299 other non-owner occupied STR received approval for a SUP to allow it to continue as a STR. A specific Sue Permit (SUP) is a discretionary decision 300 for the City Council pending recommendation from Planning and Zoning Commission. 301 302 **Caprice Michelle** 303 240 Willowcrest 304 Rockwall, TX 75087 305 306 Mrs. Michelle came forward and provided additional details in regards to her request. 307 308 Chairman Deckard opened the public hearing and asked if anyone who wished to speak to come forward at this time. 309 310 Melba Jeffus 311 2606 Cypress Drive 312 Rockwall, TX 75087 313 314 Mrs. Jeffus came forward and stated the City did a great job in regards to the Short-Term Rental ordinance and is not in support of this request. 315 316 Mike McElrov 317 605 Limmerhill Drive 318 Rockwall, TX 75087 319 320 Mr. McElroy came forward and expressed he was opposed. 321 322 Mary Block 323 1796 Mystic Street 324 Rockwall, TX 75087 325 326 Mrs. Bock came forward and expressed her opposition in regards to the request. 327 328 Chairman Deckard asked if anyone else who wished to speak to come forward at this time. There being no one indicating such, Chairman Deckard 329 closed the public hearing and brought the item back to Commission for discussion or action. 330 331 Commissioner Thompson made a motion to deny Z2025-009. Vice-Chairman Womble seconded the motion which was denied by a vote of 7-0. 332 333 11. Z2025-010 (RYAN MILLER) 334 Hold a public hearing to discuss and consider a request by Price Pointer of TCB Construction on behalf of Jay Odom for the approval of a Zoning Change 335 amending Planned Development District 50 (PD-50) [Ordinance No. 25-07] to incorporate an additional 1.65-acre parcel of land within the district being a 22.19-336 acre tract of land situated within the S. S. McCurry Survey, Abstract No. 146 and B. F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County,

338 (DT) District, situated within the North Goliad Corridor Overlay (NGC OV) District and the Old Town Rockwall (OTR) Historic District, generally located along N. 339 Goliad Street [SH-205], north of Olive Street and south of Live Oak Street, and take any action necessary. 340 341 Director of Planning and Zoning Ryan Miller provided a brief summary in regard to the applicants request. The purpose to this request is to change 342 the zoning to allow the future development residential scaled office building. The proposed amendment is consistent with the adjacent live work 343 designation. That would be for Planned Development District 50 (PD-50). If this were to get approved it would change the designation to live work. 344 345 It would allow single-family homes to be converted to offices and will also allow for development of new office buildings and single-family homes. 346 Commissioner Hgaman asked if the properties next were residential or if they were commercial. 347 348 Price Pointer 349 906 N Goliad 350 Rockwall, TX 75087 351 352 Mr. Pointer came forward and provided additional details in regards to his request. 353 354 Chairman Deckard opened the public hearing and asked if anyone who wished to speak to come forward at this time. 355 356 Jacquelyn Nicholson 357 405 N. Fannin Street 358 Rockwall, TX 750187 359 360 Mrs. Nicholson came forward and expressed she was in favor of the applicants request. 361 362 Kathy Seregow 363 503 N Fannin Street 364 Rockwall, TX 75087 365 366 Mrs. Seregow came forward and explained that it would be more traffic and stated she was opposed. 367 368 Jim Seregow 369 503 N Fannin Street 370 Rockwall, TX 75087 371 372 Mr. Seregow came forward and stated he was opposed to this request. 373 374 Carol Crow 375 504 Williams Street 376 Rockwall, TX 75087 377 378 Mrs. Crow came forward and explained this change would occur and is in favor of the request and believes it would be appropriate for the area. 379 380 Chairman Deckard asked if anyone else who wished to speak to come forward at this time. There being no one indicating such, Chairman Deckard 381 closed the public hearing and brought the item back to Commission for discussion or action. 382 383 Commissioner Hagaman made a motion to approve Z2025-010. Commissioner Thompson seconded the motion which passed by a vote of 6-0. 384 385 12. Z2025-011 (HENRY LEE) 386 Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval 387 of a PD Development Plan for eight (8) Townhomes on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall 388 County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict and the Residential Subdistrict, generally located on the 389 northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary. 390 391 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant is requesting a Planned Development (PD) for 392 townhomes. They will be adding one more unit to the district there it will be eight (8) units. The PD development plan complies with most of the 393 standards of the planned development district. However, staff did outline some of the non-conformities of the request. A few of them being the 394 setbacks, 65% of the façade must be at the build line however, since it is on a curve street it does make it difficult to design and minimum lot sizes. 395 In addition to the UDC it does not meet the anti-monotony requirements. 396 397 Matt Zahm 398 1412 Hubbard Drive 399 Heath, TX 75032 400 401 Mr. Zahm came forward and provided additional details in regards to his request. 402 403 Commissioner Conway asked how he would address the monotony issue. 404

Texas, zoned: [1] Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, [2] Single-Family 7 (SF-7) District, and [3] Downtown

337

405 406 407		Chairman Deckard asked if anyone who wished to speak to come forward at this time. There being no one indicating such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action.
408		Chairman Deckard made a motion to table Z2025-011 for 4 weeks being on April 15th. Commissioner Conway seconded which was tabled by a vote
409 410		of 7-0.
411 412	V	I. <u>ACTION ITEMS</u>
413 414 415		These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.
416 417	13	. SP2025-007 (HENRY LEE) Discuss and consider a request by Abed Ajak of Abed Ajak/Ajak Realty, LLC for the approval of an <u>Amended Site Plan</u> for an existing General Retail Building
418 419 420		on a 0.48-acre tract of land identified as Tract 34 of the J. T. Lewis Survey, Abstract 255, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1407 & 1409 S. Goliad Street, and take any action necessary.
421 422 423 424 425 425 426 427		Senior Planner Henry Lee provided a brief summary in regard to the applicants request. This case was referred to staff from Building Inspections department since work had begun without a permit and they did have to pay the non-compliance structure fee for this case. They are requesting an amended site plan for the property. Essentially, they are adding new materials, adding a parapet. They are requesting variances to paint the back side of the parapet since they are not wanting to wrap the stucco around the back of the parapet. They are also not having the parapet be an enclosed system. The Architectural Review Board did look at the case and did recommend approval with the condition that in the south elevation they are wanting the stone to continue to where the parapet ends and on the rendering on the left they are wanting the stone to continue to wrap.
428 429		Vice-Chairman womble asked if there is not a four-sided architecture in the area.
430 431 432		Robin Roberts Lavon TX 75166
433 434		Mr. Roberts came forward and expressed he agreed with ARB recommendations.
435 436 437		Chairman Deckard made a motion to approve SP2025-007 with ARB recommendation and to add stone on the south and north back to ARB recommendation. Commissioner Odom seconded the motion which passed by a vote of 7-0.
438 439 440 441 442		SP2025-008 (BETHANY ROSS) Discuss and consider a request by Nicholas Grinnan on behalf of Jeff Grinnan for the approval of an <u>Amended Site Plan</u> for an existing Office Building on a 0.9040-acre tract of land identified as Block B, Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 401 W. Rusk Street, and take any action necessary.
443 444 445 446 447 448		Director of Planning and Zoning Ryan Miller provided a brief summary in regard to the applicants request. In the previous meeting ARB had asked them to remove the thin brick they had at the top of the building. The applicant has conformed to the changes. The applicant is requesting two (2) variances. They are requesting to paint the back sides of the parapets. The other variance is to the downtown district in regards to the color of the building. ARB did look at this and ultimately liked the color scheme the applicant had provided and recommended approval. They will be also adding additional landscape.
449 450		Chairman Deckard mad e a motion to approve SP2025-008. Vice-Chairman Womble seconded the motion which passed by a vote of 7-0.
		I.DISCUSSION ITEMS
453 454	15	. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).
455 456 457 458 459 460 461		 MIS2025-004: Exception to the Utility Requirements for the REDC (TABLED TO THE MARCH 17, 2025) P2025-003: Replat for Lots 4 & 5, Block A, DuWest Addition (APPROVED) P2025-006: Replat for Lots 2, 3 & 4, Block B and Lot 2, Block C, Rockwall Commercial Addition (APPROVED) P2025-007: Final Plat for Lot 1, Block 1, Flexspace Center Rockwall Addition (APPROVED) Z2025-002: Specific Use Permit (SUP) for a <i>General Retail Store</i> and <i>Limited Service Restaurant</i> at 907 N. Goliad Street (2ND READING; APPROVED) Z2025-003: Amendment to Planned Development District 46 (PD-46) (2ND READING; APPROVED)
462 463		Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.
465		LADJOURNMENT
466 467		Chairman Deckard adjourned the meeting at 8:41PM
468 469 470		PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this day of, 2025.
471		
472		Derek Deckard, Chairman

- 473 474 475 476 Attest:
 - Melanie Zavala, Planning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 25, 2025
APPLICANT:	Phil Wagner; Rockwall Economic Development Corporation (REDC)
CASE NUMBER:	P2025-008; Preliminary Plat for Lot 1, Block A, Ridge Road Addition

SUMMARY

Consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a <u>Preliminary Plat</u> for Lot 1, Block A, Ridge Road Addition being a 12.1462-acre tract of land identified as Tract 2 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 4 (PD-4) [Ordinance No. 24-02] for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, generally located east of the intersection of Ridge Road [*FM*-740] and Becky Lane, and take any action necessary.

PLAT INFORMATION

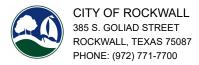
- Purpose. The purpose of the applicant's request is to <u>Preliminary Plat</u> a 12.1462-acre tract of land (*i.e. Lot 1, Block A, Ridge Road Addition* in order to lay out the necessary easements (*e.g. fire lane, public access/right-of-way, utilities, and drainage*) for the future development of the subdivision.
- Background. The City Council approved Ordinance No. 60-02 [Case No. A1960-002], annexing the subject property into the City of Rockwall on September 5, 1960. On January 27, 1972, the City Council approved Planned Development District 4 (PD-4) [Ordinance No. 72-03] allowing Neighborhood Services (NS) District and General Retail (GR) District land uses. In addition, the Planned Development District allowed Shopping Center land uses on the subject property. On June 18, 2001, the City Council approved a City initiated amendment to Planned Development District 4 (PD-4) [Case No. PZ2001-053-01] removing Neighborhood Services (NS) District land uses from the base zoning. This changed the Planned Development District to only allow General Retail (GR) District land uses. On January 2, 2024, the City Council approved a zoning change to amend Planned Development District 4 (PD-4) [Case No. Z2023-053] to facilitate the development of multi-story Office Buildings on the subject property. The subject property has remained vacant since the time of annexation.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this <u>Preliminary Plat</u> by the City Council shall constitute approval subject to the conditions stipulated in the Conditions of Approval section below.
- ☑ With the exception of the items listed in the Conditions of Approval section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the <u>Preliminary Plat</u> for the Ridge Road Addition staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this <u>Preliminary Plat</u>; and,
- (2) Any construction resulting from the approval of this <u>Preliminary Plat</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



DATE: 3/20/2025

PROJECT NUMBER:	P2025-008
PROJECT NAME:	Preliminary Plat for 1661 Ridge Road
SITE ADDRESS/LOCATIONS:	1661 RIDGE RD

CASE CAPTION: Consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a Preliminary Plat for Lot 1, Block A, Ridge Road Addition being a 12.1462-acre tract of land identified as Tract 2 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 4 (PD-4) [Ordinance No. 24-02] for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, generally located east of the intersection of Ridge Road [FM-740] and Becky Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Bethany Ross	03/19/2025	Approved w/ Comments	

03/19/2025: P2025-008: Preliminary Plat for Lot 1, Block A, Ridge Road Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for Lot 1, Block A, Ridge Road Addition being a 12.1462-acre tract of land identified as Tract 2 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 4 (PD-4) [Ordinance No. 24-02] for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, and generally located east of the intersection of Ridge Road [FM-740] and Becky Lane.

1.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (P2025-008) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

Preliminary Plat Lot 1, Block A, Ridge Road Addition Being 12.14620-Acres or 529,088.472 SF Situated in the David Atkins Survey, Abstract No. 1 City of Rockwall, Rockwall County, Texas

M.5 Provide the following plans: Preliminary Drainage Plan, and Preliminary Utility Plan. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Please tie two (2) corners to state plane coordinates. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances).

M.8 Indicate all existing and proposed corner clips and any subsequent dedication. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 Indicate the boundaries of all Wooded Areas or dense tree clusters. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.10 Please include the zoning information. In this case, the zoning will be Planned Development District 4 (PD-4). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.11 Please provide all the General Notes listed as required in Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances.

M.12 Please indicate the water source and sewage disposal method. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.13 Please update the City Signature Block to match the Preliminary Plat Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

I.14 The projected meeting dates for this case are as follows:

Planning and Zoning Public Hearing: March 25, 2025 City Council: April 7, 2025

I.15 Please note that once the Preliminary Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

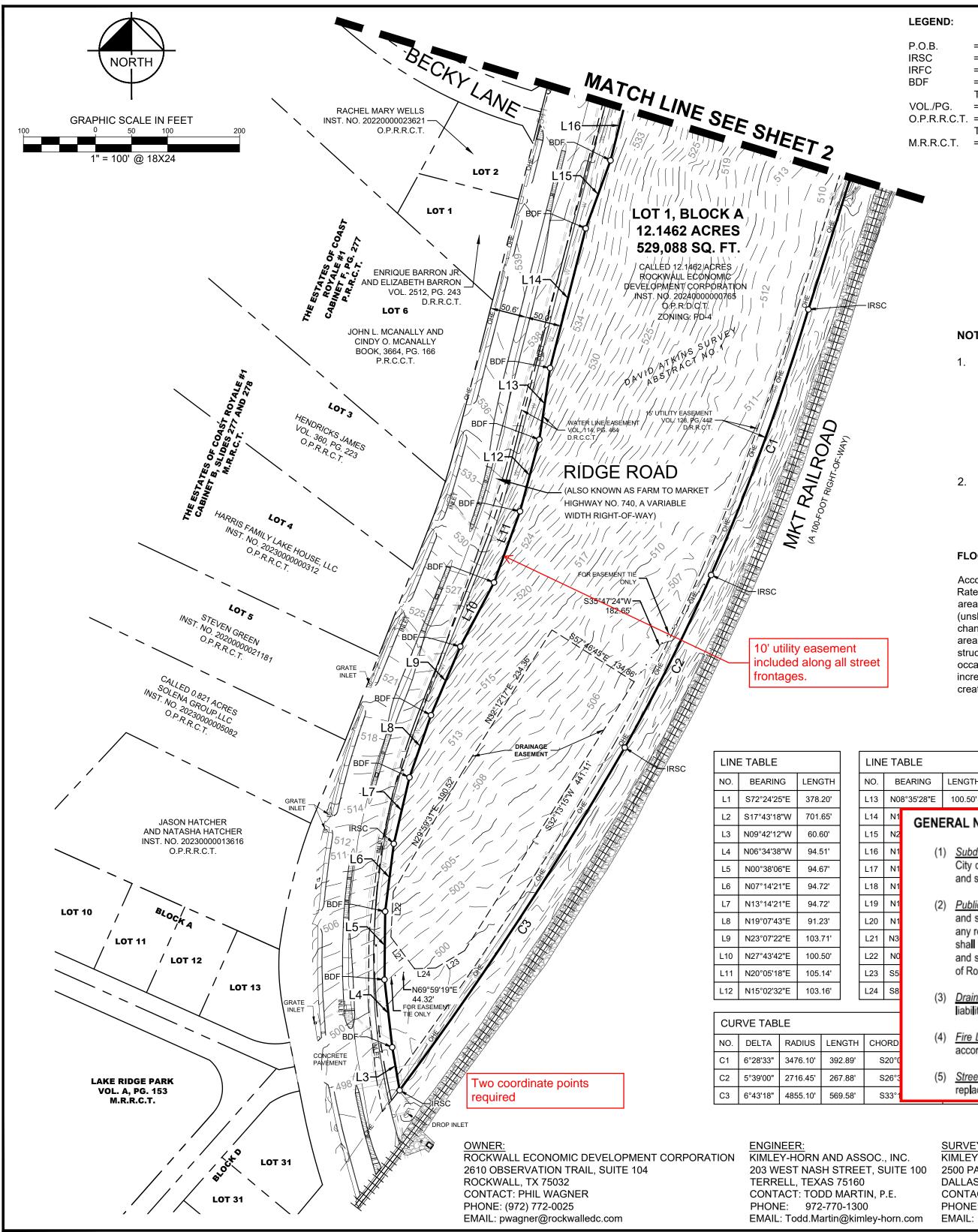
DEPARTMENT REVIEWER DA		DATE OF REVIEW	STATUS OF PROJECT	STATUS OF PROJECT	
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments		
03/20/2025: 1. Two coordinate	e points required				
2. 10' utility easement included	l along all street frontages.				
3. Include the applicable gener	ral notes on the plat.				
4. Remove contours and all ot	her site features from the plat. Only show proper	ty lines and easements.			
5. 10' utility easement included	l along all street frontages.				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT		
BUILDING	Craig Foshee	03/20/2025	Approved		
No Comments					
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT		
FIRE	Ariana Kistner	03/19/2025	Approved		
No Comments					
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT		
GIS	Lance Singleton	03/17/2025	Approved w/ Comments		
03/17/2025: Add coordinates	to two corners. Nad-83 TX State Plane North Ce	entral (4202) Grid			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT		
POLICE	Chris Cleveland	03/17/2025	Approved		
No Comments					
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT		

PARKS

Travis Sales

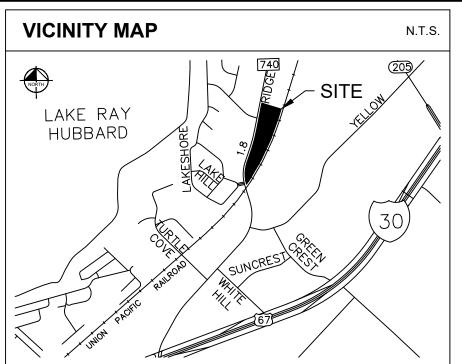
03/17/2025

No Comments



LEGEND:

P.O.B.	= POINT OF BEGINNING
IRSC	= 5/8" IRON ROD W/ "KHA" CAP SET
IRFC	= IRON ROD W/CAP FOUND
BDF	= BRONZE DISK STAMPED "TEXAS DEPARTMENT OF
	TRANSPORTATION" FOUND
VOL./PG.	= VOLUME/PAGE
O.P.R.R.C.T	. = OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY,
	TEXAS
M.R.R.C.T.	= MAP RECORDS, ROCKWALL COUNTY, TEXAS



MAIL BOX

O SANITARY SEWER CLEAN OUT

SANITARY SEWER VAULT

STORM SEWER MANHOLE

STORM SEWER BOX

STORM SEWER DRAIN

STORM SEWER VAULT

CROSS WALK SIGNAI

TRAFFIC HANDHOLE

TRAFFIC MARKER SIGN

UNIDENTIFIED HANDHOLE

UNIDENTIFIED MANHOLE

UNIDENTIFIED MARKER FLAG

UNIDENTIFIED MARKER SIGN

UNIDENTIFIED METER

UNIDENTIFIED POLE

UNIDENTIFIED TAN

UNIDENTIFIED VALVE

WATER BOX

O FIRE HYDRANT

WATER VAULT

WATER VALVE

AIR RELEASE VALVE

WATER METER

WATER MANHOLE

WATER MARKER FLAG

WATER MARKER SIGN

TREE

UNIDENTIFIED VAULT

FIRE DEPT. CONNECTION

WATER HAND HOLE

TRAFFIC MANHOLE

- TRAFFIC SIGNAL

TRAFFIC VAULT

UNIDENTIFIED BOX

TRAFFIC BARRIER

TRAFFIC BOLLARD

TRAFFIC BOX

SANITARY SEWER MANHOLE

SANITARY SEWER MARKER FLAG

SANITARY SEWER MARKER SIGN

SANITARY SEWER SEPTIC TANK

LEGEND ROOF DRAIN

TV CABLE TV BOX

CABLE TV HANDHOL

CABLE TV MANHOLE

CABLE TV VAULT

CABLE TV MARKER FLAC

CABLE TV MARKER SIG

COMMUNICATIONS BC

COMMUNICATIONS HANDHOLE

COMMUNICATIONS MARKER FLAG

COMMUNICATIONS MARKER SIGN

COMMUNICATIONS MANHOLE

COMMUNICATIONS VAULT

ELEVATION BENCHMAR FIBER OPTIC BOX

FIBER OPTIC HANDHO

FIBER OPTIC MANHOLE

FIBER OPTIC VAULT

MONITORING WELL

GAS HANDHOLE GAS METER

GAS MANHOLE

GAS SIGN

GAS VAULT

GAS TANK

GI GAS VALVE

GAS MARKER FLAG

TELEPHONE BOX

TELEPHONE VAULT

ELECTRIC BOX

GUY ANCHOR

LIGHT STANDARD

光 FLOOD LIGHT

TELEPHONE HANDHOL

TELEPHONE MANHOLE

PIPELINE MARKER SIGN

GUY ANCHOR POLE

ELECTRIC HANDHOLE

TELEPHONE MARKER FLAG

TELEPHONE MARKER SIGN

FIBER OPTIC MARKER FLAG

EIBER OPTIC MARKER SIGN

NOTES:

- No building permit shall be issued nor permanent public utility 1. service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted conveyance plat, final plat, or replat is a violation of the city ordinance and State law.
- 2. Property owner(s) shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements, if any

FLOOD STATEMENT:

According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48397C0040L, for Rockwall County, Texas and incorporated areas, dated September 26, 2008 this property is located within Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain". If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor

andy.dobbs@kimley-horn.com

	LINE NO.	E TABLE BEARING	LENGTH		Include the general note plat.		ELECTRIC UTILITY PC T ELECTRIC ELECTRIC ELECTRIC	MANHOLE MARKER FLAG MARKER SIGN LE TRANSFORMER	WATER WELL IRSC 5/8" IRON ROD W/' IRFC IRON ROD WITH C/ PKS PK NAIL SET PKF PK NAIL FOUND IRF IRON ROD FOUND IPF IRON PIPE FOUND ADF ALUMINUM DISK F/ XS "X" CUT IN CONCR	AP FOUND
	NO.	BEARING	LENGTH	-			MARQUEE/	BILLBOARD	XF "X" CUT IN CONCR	
	L13	N08°35'28"E	100.50'				BORE LOC	ATION	P.O.B. POINT OF BEGINN	ING
	L14 L15	N1 N2	ERAL NO	OTES [Please add this to any oth	ner notes incl	uded on the pla	it.]			
	L16	N1 (*	1) Subdiv	ider's Statement. Selling a portion of this	addition by mete	s and bounds is un	awful and a vio	ation of the Sul	division Ordinance	of the
	L17	N1	City of	Rockwall and Chapter 212, Municipal Real be subject to the City of Rockwall with	egulation of Subo	livisions and Prope				
	L18	N1			in an	ie senenig portine.				
	L19	· ·		Improvement Statement. It shall be the people of the peopl						
	L20	N1		presentation, assurance or guarantee that				, ,		
'	L21	N3		uch approval constitute any representatio						· · · ·
	L22	NO		nitary sewer for personal use and fire pro						
'	L23	S5	of Roc							
'	L24	S8 ((e and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole fall systems within the drainage and detention easements.					
ENG	тн сно	DRD (4		anes. All Fire Lanes will be constructed, r ance with the approved Civil Engineering					es shall be construc	cted in
392.8	9' S	20°0	accoru	ance with the approved Givil Engineering				emento.		
267.8		526°3 (5) <u>Street</u>	Appurtenances. A decorative signage,	posts, or lights i	nstalled in public ri	ight-of-way sha	be installed, r	maintained, repaire	d, and
569.5	_	\$33°1		ed by the Homeowner's Association (HOA						
STF 5 75 9 MA	160 RTIN, P	UITE 100	2500 PAC DALLAS, CONTAC	HORN AND ASSOC., INC. CIFIC AVE., SUITE 1100, TEXAS 75226 T: J. ANDY DOBBS, R.P.L.S.	2500 Pacific A Dallas, Texas		FIF	RM # 10115500	Tel. No. (46	69) 718-8849
	300		PHONE:	469-718-8849	<u>Scale</u>	<u>Drawn by</u>	Checked by	<u>Date</u>	Project No.	Sheet No.

1" = 100'

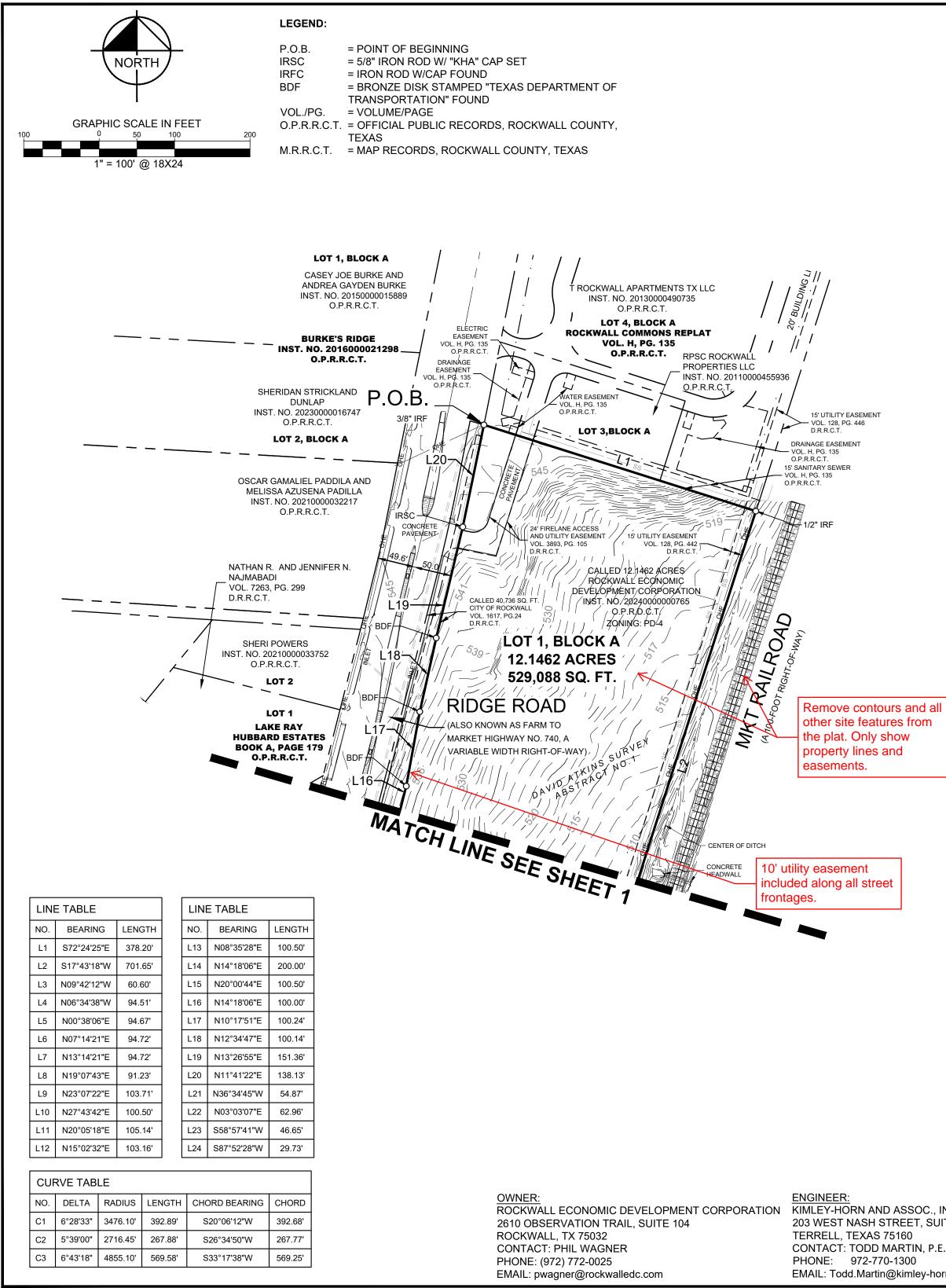
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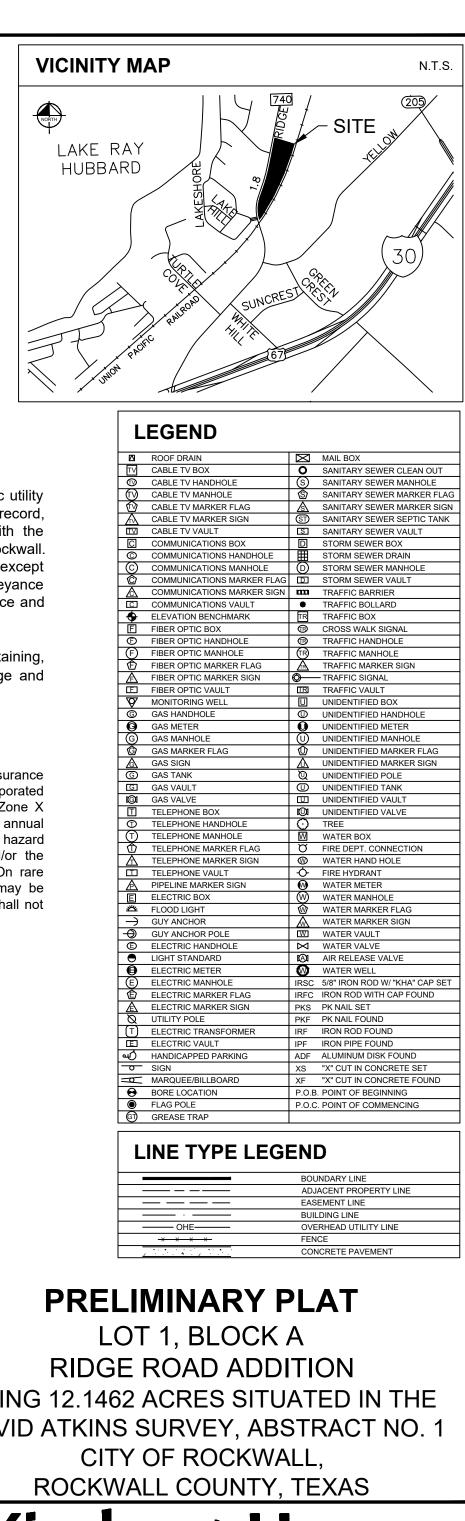
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Mar. 2025

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1 OF 4

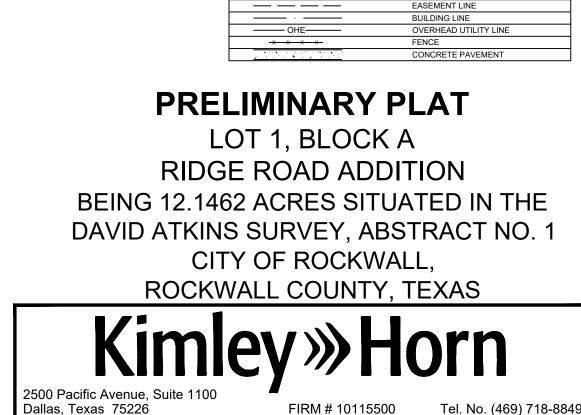




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KIMLEY-HORN AND ASSOC., INC. 203 WEST NASH STREET, SUITE 100 EMAIL: Todd.Martin@kimley-horn.com

SURVEYOR: KIMLEY-HORN AND ASSOC., INC. 2500 PACIFIC AVE., SUITE 1100, DALLAS, TEXAS 75226 CONTACT: J. ANDY DOBBS, R.P.L.S. PHONE: 469-718-8849 EMAIL: andy.dobbs@kimley-horn.com

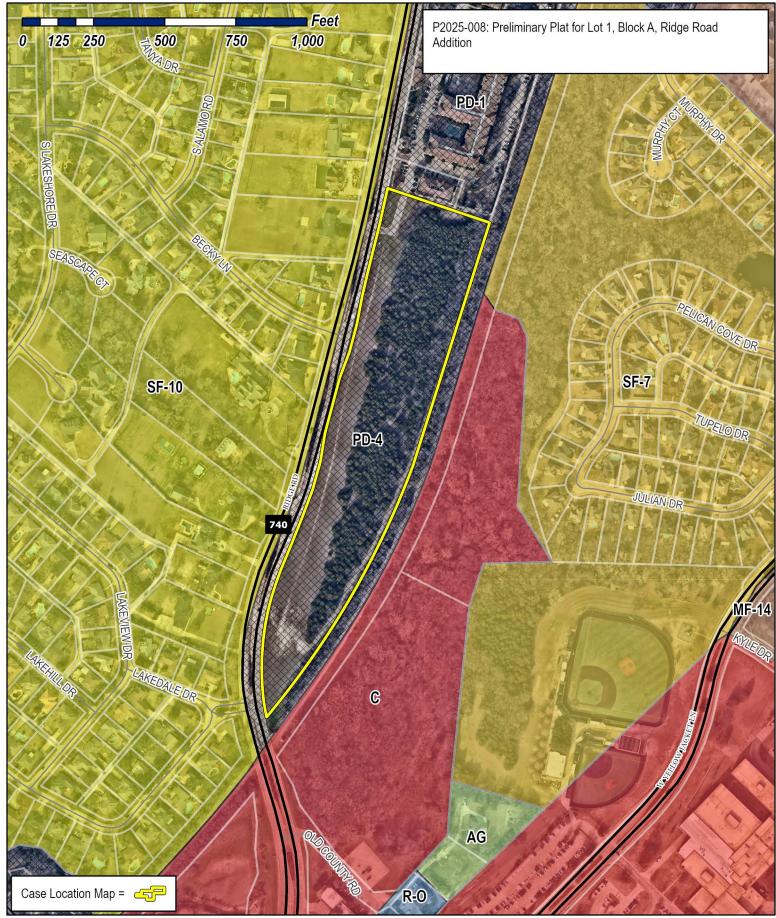
Dallas, Texas 75226

Scale

1" = 100'

			,	,
<u>Drawn by</u>	Checked by	Date	Project No.	Sheet No.
LDV	JAD	Mar. 2025	064584403	2 OF 4

	DEVELOPMENT City of Rockwall Planning and Zoning 385 S. Goliad Street Rockwall, Texas 75087		TION	PLAN <u>NOTE</u> CITY I SIGNE		ON IS NOT CONSIDI NING DIRECTOR AN		
PLEASE CHECK THE A	PPROPRIATE BOX BELOW TO IND	CATE THE TYPE O	F DEVELOPME	NT REG	UEST (SELECI	ONLY ONE BOX]		
PRELIMINARY PL FINAL PLAT (\$300 REPLAT (\$300.00 AMENDING OR M PLAT REINSTATE SITE PLAN APPLICA SITE PLAN (\$250.	100.00 + \$15.00 ACRE) ¹ AT (\$200.00 + \$15.00 ACRE) ¹).00 + \$20.00 ACRE) ¹ + \$20.00 ACRE) ¹ INOR PLAT (\$150.00) MENT REQUEST (\$100.00) ATION FEES:	PLAN (\$100.00)		NG CHA AFIC US EVELOP APPLICA REMON ANCE RI MINING TH AMOUNT. I MOUNT. I MOUNT. I	E PERMIT (\$20 MENT PLANS (ATION FEES: /AL (\$75.00) EQUEST/SPECI EQUEST/SPECI HE FEE, PLEASE USI FOR REQUESTS ON ALL BE ADDED TO	\$15.00 ACRE) ¹ 0.00 + \$15.00 ACR \$200.00 + \$15.00 A AL EXCEPTIONS I THE EXACT ACREAGE LESS THAN ONE ACREA THE APPLICATION FEI NOT IN COMPLIANCE	(\$100.00) ² (\$100.00) ² WHEN MULTIP ROUND UP TO G E FOR ANY RI	ONE (1) ACRE. EQUEST THAT
	RMATION [PLEASE PRINT]							
ADDRESS	1661 Ridge Road, Ro	ckwall, TX 7	5087					
SUBDIVISION	David Atkins Survey,	Abstract No.	1		LOT	N/A	BLOCK	N/A
GENERAL LOCATION	1661 Ridge Road, Ro	ckwall, TX 7	5087					
ZONING, SITE PL	AN AND PLATTING INFOR	MATION [PLEAS	e print)					
CURRENT ZONING	PD-4		CURREN	NT USE	Undevel	oped		
PROPOSED ZONING	PD-4		PROPOSE	D USE	Office			
ACREAGE	12.15	LOTS [CURRENT]	N/A		LO.	S [PROPOSED]	1	
REGARD TO ITS AF	PLATS: BY CHECKING THIS BOX YO PROVAL PROCESS, AND FAILURE TO NIAL OF YOUR CASE.							
OWNER/APPLICA	NT/AGENT INFORMATION	PLEASE PRINT/CHI					REQUIRED]	
	Phil Wagner			CANT	Phil Wag	ner		
CONTACT PERSON	Rockwall EDC		CONTACT PE	RSON	Rockwall	EDC		
ADDRESS 2	610 Observation Trail		ADD	RESS	2610 Obs	ervation Tra	ail	
1 .	Suite 104				Suite 104			
	Rockwall, TX 75032		CITY, STATE			TX 75032		
	972) 772-0025		P		(972) 772			
E-MAIL	wagner@rockwalledc	com	E	-Mail	pwagner(@rockwalled	lc.com	
	ATION (REQUIRED) SIGNED AUTHORITY, ON THIS DAY PE N ON THIS APPLICATION TO BE TRUE			Waja	r	[OWNER]	THE UNDER	rsigned, who
S 382.25 INFORMATION CONTAINED	AM THE OWNER FOR THE PURPOSE OF TO COVER THE COST OF 2025 BY SIGNING THIS WITHIN THIS APPLICATION, IF SUCH RE IN WITH THIS APPLICATION, IF SUCH RE	THIS APPLICATION, HA APPLICATION, I AGRE PUBLIC. THE CITY IS	S BEEN PAID TO EE THAT THE CIT ALSO AUTHORI	THE CITY 'Y OF RO 'ZED AND	OF ROCKWALL (CKWALL (I.E. "CIT PERMITTED TO	N THIS THE 'Y") IS AUTHORIZED . REPRODUCE ANY	AND PERMITT COPYRIGHTE	DAY OF TED TO PROVIDE
	ND SEAL OF OFFICE ON THIS THE	DAY OF Ma	rch	_, 20 <u></u>	5	Distant Provide State	Public, Sta # 13230(MMONDS te of Texas
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DEV	ELOPMENT APPLICATION • CITY OF	ROCKWALL • 385 SO	UTH GOLIAD S	TREET •	ROCKWALL, TX 3	25087 • [P] (972) 7	71-7745	

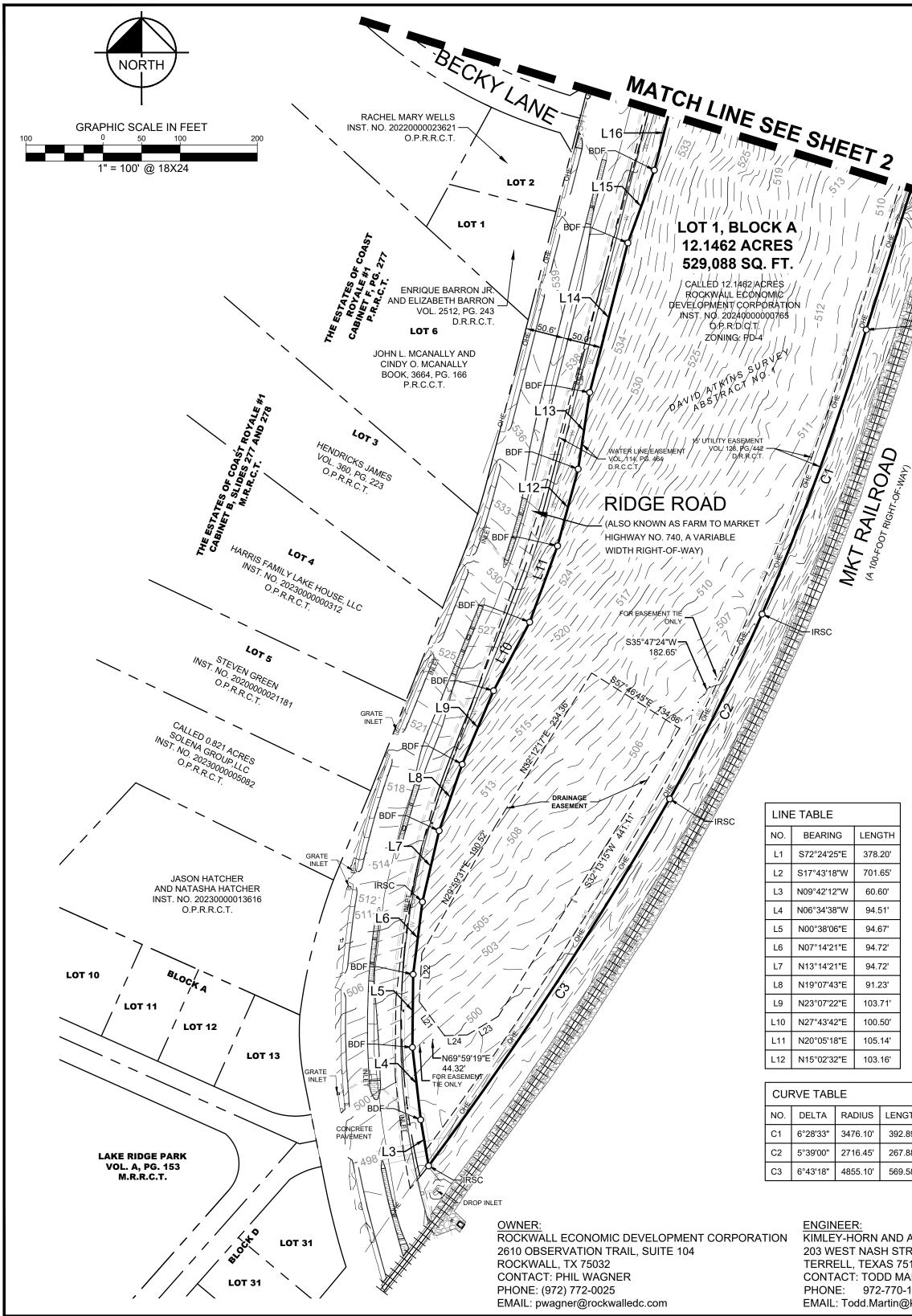




City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

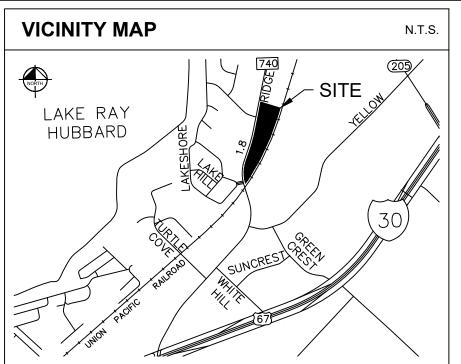
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND:

P.O.B.	= POINT OF BEGINNING
IRSC	= 5/8" IRON ROD W/ "KHA" CAP SET
IRFC	= IRON ROD W/CAP FOUND
BDF	= BRONZE DISK STAMPED "TEXAS DEPARTMENT OF
	TRANSPORTATION" FOUND
VOL./PG.	= VOLUME/PAGE
O.P.R.R.C.T	. = OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY,
	TEXAS
M.R.R.C.T.	= MAP RECORDS, ROCKWALL COUNTY, TEXAS



MAIL BOX

O SANITARY SEWER CLEAN OUT

SANITARY SEWER VAULT

STORM SEWER MANHOLE

STORM SEWER BOX

STORM SEWER DRAI

STORM SEWER VAULT

CROSS WALK SIGNAI

TRAFFIC HANDHOLE

TRAFFIC MARKER SIGN

UNIDENTIFIED HANDHOLE

UNIDENTIFIED MANHOLE

UNIDENTIFIED MARKER FLAG

UNIDENTIFIED MARKER SIGN

UNIDENTIFIED METER

UNIDENTIFIED POLE

UNIDENTIFIED TAN

UNIDENTIFIED VALVE

WATER BOX

O FIRE HYDRANT

WATER METER

WATER MANHOL

TREE

UNIDENTIFIED VAULT

FIRE DEPT. CONNECTION

WATER HAND HOLE

TRAFFIC MANHOLE

- TRAFFIC SIGNAL

TRAFFIC VAULT

UNIDENTIFIED BOX

TRAFFIC BARRIER

TRAFFIC BOLLARD

TRAFFIC BOX

SANITARY SEWER MANHOLE

SANITARY SEWER MARKER FLAG

SANITARY SEWER MARKER SIGN

SANITARY SEWER SEPTIC TANK

LEGEND

ROOF DRAIN

TV CABLE TV BOX

CABLE TV HANDHOL

CABLE TV MANHOLE

CABLE TV VAULT

CABLE TV MARKER FLAC

CABLE TV MARKER SIG

COMMUNICATIONS BO

COMMUNICATIONS HANDHOLE

COMMUNICATIONS MARKER FLAG

COMMUNICATIONS MARKER SIGN

COMMUNICATIONS MANHOLE

COMMUNICATIONS VAULT

ELEVATION BENCHM

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FIBER OPTIC MANHOLE

FIBER OPTIC VAULT

MONITORING WELL

G GAS HANDHOLE G GAS METER

GAS MANHOLE

GAS SIGN

GAS VAULT

GAS TANK

GI GAS VALVE

GAS MARKER FLAG

TELEPHONE BOX

TELEPHONE VAULT

F ELECTRIC BOX

TELEPHONE HANDHOL

TELEPHONE MANHOLE

PIPELINE MARKER SIGN

TELEPHONE MARKER FLAC

TELEPHONE MARKER SIGN

FIBER OPTIC MARKER FLAG

EIBER OPTIC MARKER SIGN

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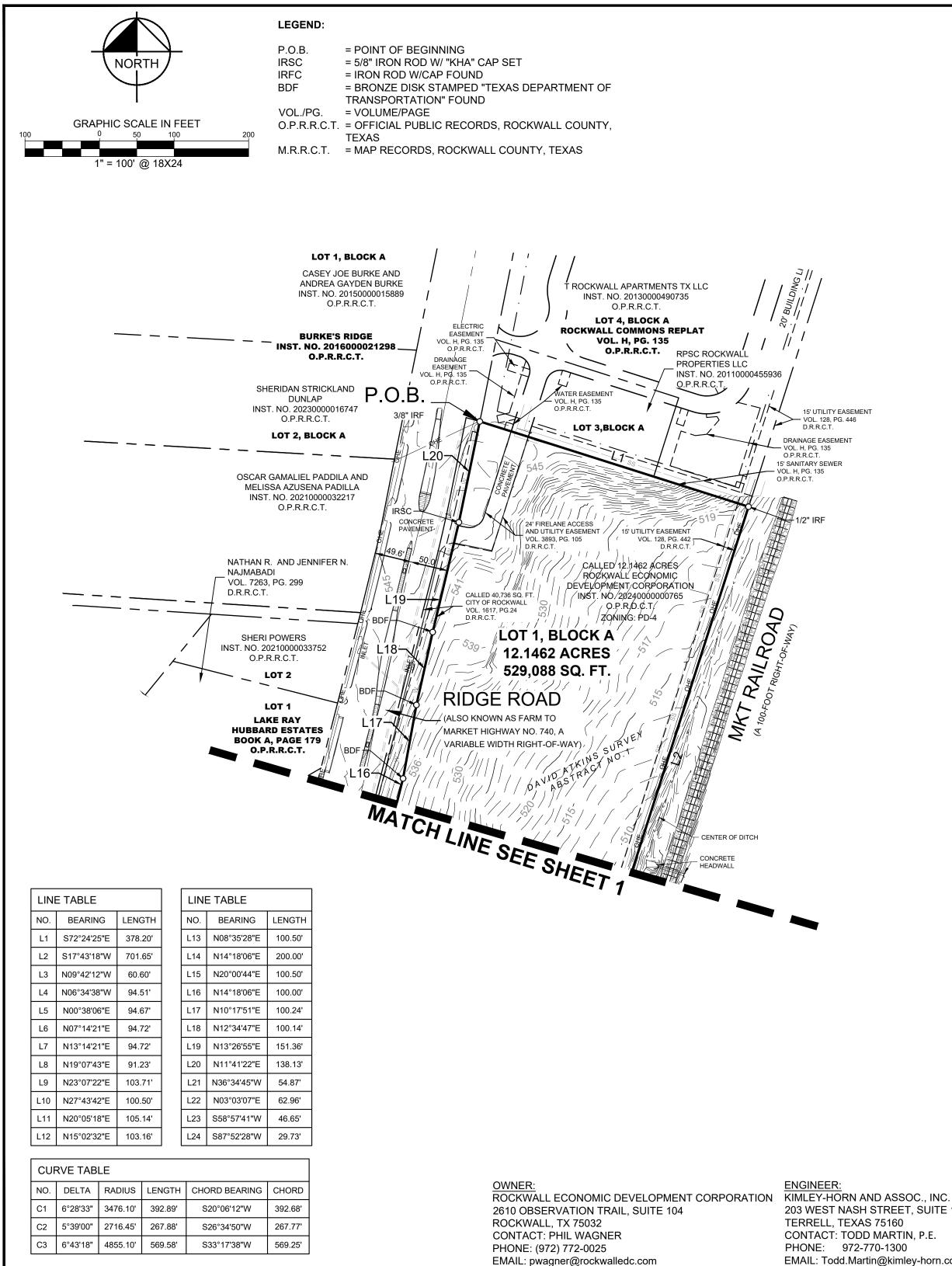
LIN	E TABLE	
NO.	BEARING	LENGTH
L13	N08°35'28"E	100.50'
L14	N14°18'06"E	200.00'
L15	N20°00'44"E	100.50'
L16	N14°18'06"E	100.00'
L17	N10°17'51"E	100.24'
L18	N12°34'47"E	100.14'
L19	N13°26'55"E	151.36'
L20	N11°41'22"E	138.13'
L21	N36°34'45"W	54.87'
L22	N03°03'07"E	62.96'
L23	S58°57'41"W	46.65'
L24	S87°52'28"W	29.73'

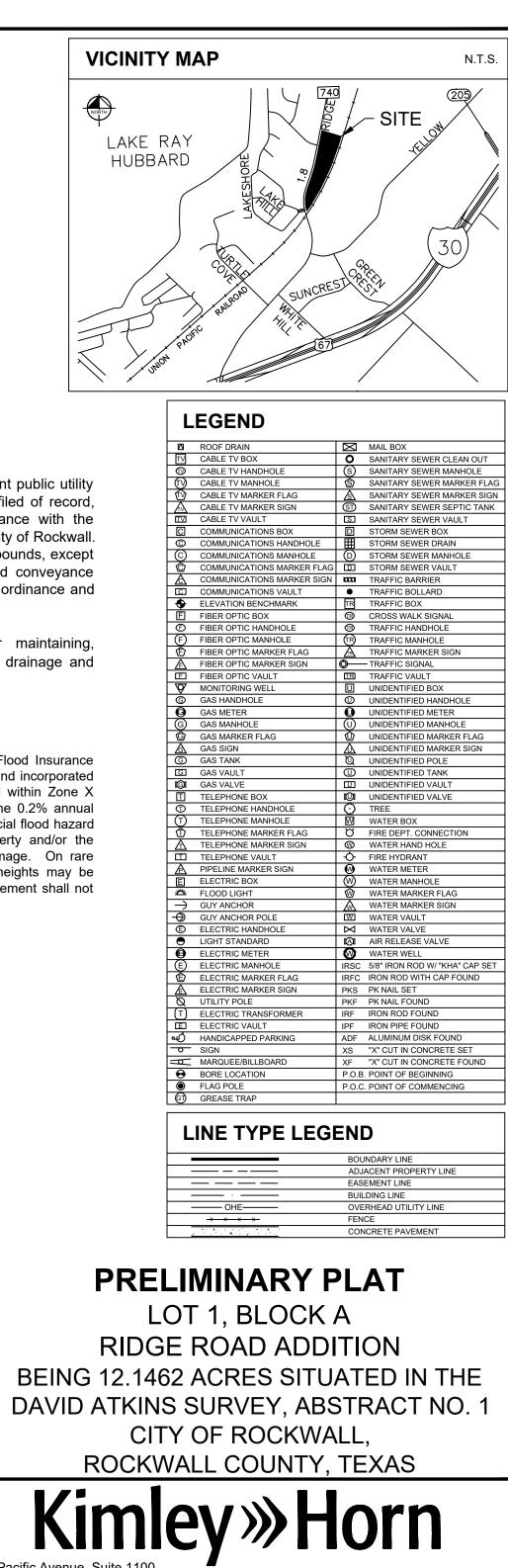
ENGTH	CHORD BEARING	CHORD
392.89'	S20°06'12"W	392.68'
267.88'	S26°34'50"W	267.77'
569.58'	S33°17'38"W	569.25'

	SUR\
DASSOC., INC.	KIML
TREET, SUITE 100	2500
75160	DALL
/IARTIN, P.E.	CON
)-1300	PHON
@kimley-horn.com	EMAI

SURVEYOR: KIMLEY-HORN AND ASSOC., INC. 2500 PACIFIC AVE., SUITE 1100, DALLAS, TEXAS 75226 CONTACT: J. ANDY DOBBS, R.P.L.S. PHONE: 469-718-8849 EMAIL: andy.dobbs@kimley-horn.com

	cur and flood heights may be	Sector FLOOD LIG	HI .	WATER MARKER I	FLAG
		- GUY ANCH	IOR	WATER MARKER	SIGN
	This flood statement shall not	- GUY ANCH		WATER VAULT	
r		C ELECTRIC		WATER VALVE	
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				PK5 PK NAIL SET	
			TRANSFORMER	IRF IRON ROD FOUND)
				IPF IRON PIPE FOUND	
			PED PARKING	ADF ALUMINUM DISK F	
		SIGN		XS "X" CUT IN CONCF	
		MARQUEE	/BILLBOARD	XF "X" CUT IN CONCF	RETE FOUND
		😝 BORE LOC	ATION	P.O.B. POINT OF BEGINN	ling
		FLAG POL	E	P.O.C. POINT OF COMME	NCING
		GT GREASE T	RAP		
			TYPE LEG	END BOUNDARY LINE	
				ADJACENT PROPERTY	LINE
				EASEMENT LINE	
				BUILDING LINE	
				OVERHEAD UTILITY LIN FENCE	IE
		- ~ ~ /		CONCRETE PAVEMENT	
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	L RIDO BEING 12.14 DAVID ATKIN	ELIMIN LOT 1, I GE ROA 62 ACR	IARY F BLOCK AD ADD ES SITU /EY, ABS	PLAT A ITION ATED IN ⁻ STRACT N	THE
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	RIDO BEING 12.14 DAVID ATKIN CI ROCK Kin 2500 Pacific Avenue, Suite 1100 Dallas, Texas 75226	LIMIN LOT 1, I DE ROA 62 ACR S SURV TY OF F WALL C ICY	IARY F BLOCK D ADD ES SITU VEY, ABS ROCKWA OUNTY, OUNTY,	PLAT A ITION ATED IN STRACT N LL, TEXAS OTN OTN Tel. No. (4	THE NO. 1 69) 718-8849
	RIDO BEING 12.14 DAVID ATKIN CI ROCK Kim	LIMIN OT 1, I GE ROA 62 ACR IS SURV TY OF F WALL C	IARY F BLOCK AD ADD ES SITU VEY, ABS ROCKWA OUNTY,	PLAT A ITION ATED IN STRACT N LL, TEXAS	THE NO. 1





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Tel. No. (469) 718-8849

203 WEST NASH STREET, SUITE 100 EMAIL: Todd.Martin@kimley-horn.com

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2500 Pacific Avenue, Suite 1100 Dallas, Texas 75226 FIRM # 10115500

Scale Drawn by Checked by Date Project No. Sheet No. 1" = 100' JAD Mar. 2025 064584403 2 OF 4 LDV

OWNERS CERTIFICATE

STATE OF TEXAS COUNTY OF ROCKWALL

WHEREAS, a tract of land situated in the David Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, and being all of a called 12.1462 acre tract of land described in the General Warranty Deed to Rockwall Economic Development Corporation, recorded in Instrument No. 20240000000765, Official Public Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at 3/8-inch iron rod found for the southwest corner of Lot 3. Block A of Rockwall Commons Replat, an Addition to the City of Rockwall according to the plat thereof recorded in Instrument No. 20100000443217, Official Public Records, Rockwall County, Texas and the northwest corner of said 12.1462 acre tract, in the east right-of-way line of Ridge Road (also known as Farm to Market Highway No. 740, a variable width right-of-way);

THENCE with the north line of said 12.1462 acre tract, South 72°24'25" East, a distance of 378.20 feet to a 1/2-inch iron rod found for the northeast corner of said 12.1462 acre tract, in the west right-of-way line of MKT Railroad (a 100-foot right-of-way);

THENCE with said west right-of-way line of MKT Railroad, the following courses and distances:

South 17°43'18" West, a distance of 701.65 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the right with a radius of 3,476.10 feet, a central angle of 06°28'33", and a chord bearing and distance of South 20°06'12" West, 392.68 feet; In a southerly direction, with said non-tangent curve to the right, an arc distance of 392.89 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the right with a radius of 2.716.45 feet, a central angle of 05°39'00", and a chord bearing and distance of South 26°34'50" West, 267.77 feet;

In a southerly direction, with said non-tangent curve to the right, an arc distance of 267.88 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the right with a radius of 4,855.10 feet, a central angle of 06°43'18", and a chord bearing and distance of South 33°17'38" West, 569.25 feet;

In a southerly direction, with said non-tangent curve to the right, an arc distance of 569.58 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for the south corner of said 12.1462 acre tract, at the intersection of said west right-of-way line of MKT Railroad and said east right-of-way line of Ridge Road;

THENCE with said east right-of-way line of Ridge Road and the west line of said 12.1462 acre tract, the following courses and distances:

North 09°42'12" West, a distance of 60.60 feet to a 4-inch bronze disk stamped "Texas Department of Transportation" found (hereinafter called bronze disk); North 06°34'38" West, a distance of 94.51 feet to a bronze disk found: North 00°38'06" East, a distance of 94.67 feet to a bronze disk found; North 07°14'21" East, a distance of 94.72 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set: North 13°14'21" East, a distance of 94.72 feet to a bronze disk found; North 19°07'43" East, a distance of 91.23 feet to a bronze disk found; North 23°07'22" East, a distance of 103.71 feet to a bronze disk found: North 27°43'42" East, a distance of 100.50 feet to a bronze disk found; North 20°05'18" East, a distance of 105.14 feet to a bronze disk found; North 15°02'32" East, a distance of 103.16 feet to a bronze disk found; North 08°35'28" East, a distance of 100.50 feet to a bronze disk found; North 14°18'06" East, a distance of 200.00 feet to a bronze disk found; North 20°00'44" East, a distance of 100.50 feet to a bronze disk found; North 14°18'06" East, a distance of 100.00 feet to a bronze disk found; North 10°17'51" East, a distance of 100.24 feet to a bronze disk found: North 12°34'47" East, a distance of 100.14 feet to a bronze disk found; North 13°26'55" East, a distance of 151.36 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set North 11°41'22" East, a distance of 138.13 feet to the POINT OF BEGINNING and containing an area of 529,088 square feet or 12.1462 acres of land.

Bearing system based on the State Plane Coordinate System of 1983, Texas North Central Zone (4202), North American Datum of 1983 (2011).

NOW. THEREFORE. KNOW ALL MEN BY THESE PRESENTS: STATE OF TEXAS COUNTY OF ROCKWALL

We, **ROCKWALL ECONOMIC DEVELOPMENT CORPORATION**, the undersigned owner of the land shown on this plat, and designated herein as the RIDGE ROAD ADDITION to the City of Rockwall. Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed, except those created by separate instrument, which are governed by the terms of such separate instruments. We further certify that all other parties who have a mortgage or lien interest in the **RIDGE ROAD ADDITION** have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same, except those created by separate instrument, which are governed by the terms of such separate instruments. We also understand the following;

- No buildings shall be constructed or placed upon, over, or across the utility easements created 1. hereby
- 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of the easement strips created hereby; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- 3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- 4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements
- 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- 6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall: or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself.

Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

ROCKWALL ECONOMIC DEVELOPMENT CORPORATION, a Texas non-profit corporation

By: ROCKWALL ECONOMIC DEVELOPMENT CORPORATION, a Texas non-profit corporation

By:

STATE OF COUNTY OF

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared , known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this 202___.

Notary Public in and for the State of

_ day of

OWNER

ROCKWALL ECONOMIC DEVELOPMENT CORPORATION KIMLEY-HORN AND ASSOC., INC. 2610 OBSERVATION TRAIL, SUITE 104 ROCKWALL, TX 75032 CONTACT: PHIL WAGNER PHONE: (972) 772-0025 EMAIL: pwagner@rockwalledc.com

ENGINEER:

KIMLEY-HORN AND ASSOC., INC. 203 WEST NASH STREET, SUITE 100 TERRELL, TEXAS 75160 CONTACT: TODD MARTIN, P.E. PHONE: 972-770-1300 EMAIL: Todd.Martin@kimley-horn.com

SURVEYOR: 2500 PACIFIC AVE., SUITE 1100. DALLAS, TEXAS 75226 CONTACT: J. ANDY DOBBS, R.P.L.S. PHONE: 469-718-8849 EMAIL: andy.dobbs@kimley-horn.com

PRELIMINARY PLAT LOT 1, BLOCK A **RIDGE ROAD ADDITION BEING 12.1462 ACRES SITUATED IN THE** DAVID ATKINS SURVEY, ABSTRACT NO. 1 CITY OF ROCKWALL,

ROCKWALL COUNTY, TEXAS

2500 Pacific Avenue, Suite 1100

Dallas, Texas	75226	FI	RM # 10115500	Tel. No. (4	69) 718-8849 🕺
<u>Scale</u>	<u>Drawn by</u>	Checked by	<u>Date</u>	Project No.	Sheet No.
N/A	LDV	JAD	Mar. 2025	064584403	3 OF 4

SURVEYOR'S STATEMENT

THAT I, J. Andy Dobbs, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Engineers and Land Surveyors.

Dated this the ____day of _____, 202___.

J. Andy Dobbs Registered Professional Land Surveyor No. 6196 2500 Pacific Avenue, Suite 1100 Dallas, Texas 75226 (469) 718-8849 andy.dobbs@kimley-horn.com

STATE OF TEXAS § COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared J. Andy Dobbs, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____

Notary Public in and for the State of Texas

	RECOMMENDED FOR FINAL
Planning & Zoning Commission, Chairm	an Date
APPROVED:	
I hereby certify that the above and foreg Rockwall on the day of	oing plat of an addition to the City of Rocl , 202
This approval shall be invalid unless the Texas, within one hundred eighty (180)	approved plat for such addition is record days from said date of final approval.
WITNESS OUR HANDS, this da	ay of, 202
Mayor, City of Rockwall	City Secretary

OWNER:	
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION	٦N
2610 OBSERVATION TRAIL, SUITE 104	
ROCKWALL, TX 75032	
CONTACT: PHIL WAGNER	
PHONE: (972) 772-0025	
EMAIL: pwagner@rockwalledc.com	

ENGINEER: KIMLEY-HORN AND ASSOC., INC. TERRELL, TEXAS 75160 CONTACT: TODD MARTIN, P.E. PHONE: 972-770-1300 EMAIL: Todd.Martin@kimley-horn.com

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

___ 202___.

APPROVAL

ckwall, Texas, was approved by the City Council of the City of

led in the office of the County Clerk of Rockwall, County,

City Engineer

PRELIMINARY PLAT

LOT 1, BLOCK A **RIDGE ROAD ADDITION** BEING 12.1462 ACRES SITUATED IN THE DAVID ATKINS SURVEY, ABSTRACT NO. 1 CITY OF ROCKWALL,

ROCKWALL COUNTY, TEXAS

Kimle	ey≫ł	lorn
2500 Pacific Avenue, Suite 1100 Dallas, Texas 75226	FIRM # 101155	500 Tel. No. (469) 718-8849

<u>Date</u>

Mar. 2025

Checked by

JAD

<u>Scale</u>

N/A

Drawn by

LDV

SURVEYOR: KIMLEY-HORN AND ASSOC., INC. 203 WEST NASH STREET, SUITE 100 2500 PACIFIC AVE., SUITE 1100, DALLAS, TEXAS 75226 CONTACT: J. ANDY DOBBS, R.P.L.S. PHONE: 469-718-8849 EMAIL: andy.dobbs@kimley-horn.com

Sheet No.

4 OF 4

Project No.

064584403



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 25, 2025
APPLICANT:	Phil Wagner; Rockwall Economic Development Corporation (REDC)
CASE NUMBER:	P2025-010; Replat for Lots 9-11, Block A, Rockwall Technology Park

SUMMARY

Consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a <u>Replat</u> for Lots 9, 10, & 11, Block A, Rockwall Technology Park Addition being a 23.1612-acre parcel of land identified as Lots 5, 7, & 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, generally located at the northwest corner of the intersection of SH-276 and Corporate Crossing [*FM*-549], and take any action necessary.

PLAT INFORMATION

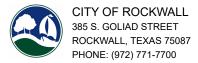
- Purpose. The applicant is requesting approval of a *Replat* for a 23.1612-acre parcel of land (*i.e. Lots 9-11, Block A, Rockwall Technology Park Addition*) for the purpose of changing the lot lines for the three (3) lots and establishing a drainage easement on lot 11.
- <u>Background</u>. The subject property was annexed by the City Council on December 3, 1985 by Ordinance No. 85-69 [Case No. A1985-002]. According to the City's December 7, 1993 historic zoning map, at some point between the time of annexation and December 7, 1993, the subject property was rezoned from Agricultural (AG) District and Light Industrial (LI) District. On June 16, 1999, the City Council approved a final plat [Case No. PZ1999-059-01] that established the subject property as a portion of Block A, Rockwall Technology Park Addition. On November 20, 2000, the City Council approved a replat [Case No. PZ2000-099-01] of Lot 1, Block A, Rockwall Technology Park. On January 10, 2003, the City Council approved a replat [Case No. PZ2002-042-01] for Lot 1, Block A, Rockwall Technology Park. On January 18, 2004, the City Council approved a replat [Case No. P2004-060] for Lot 2, Block A, Rockwall Technology Park. On December 10, 2008, the City Council approved a replat [Case No. P2004-060] for Lot 2, Block A, Rockwall Technology Park. On December 10, 2008, the City Council approved a replat [Case No. P2004-060] for Lot 2, Block A, Rockwall Technology Park. On December 10, 2008, the City Council approved a replat [Case No. P2004-060] for Lot 2, Block A, Rockwall Technology Park. On May 12, 2022, the Planning and Zoning Commission approved a Site Plan [Case No. SP2022-014] for the purpose of constructing an Office/Manufacturing Facility on Lots 7 & 8, Block A, Rockwall Technology Park Addition. The subject property has remained vacant since the time of annexation.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this <u>Replat</u> -- conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this <u>Replat</u> by the City Council shall constitute approval subject to the conditions stipulated in the Conditions of Approval section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the <u>Replat</u> for Lots 9, 10, & 11, Block A, Rockwall Technology Park Addition, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this <u>Replat;</u> and,
- (2) Any construction resulting from the approval of this <u>Replat</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



DATE: 3/20/2025

PROJECT NUMBER:	P2025-010
PROJECT NAME:	Replat for Lots 5-8, Block A, Rockwall Technology Park
SITE ADDRESS/LOCATIONS:	NWC of State Highway 276 and Corporate Crossing

CASE CAPTION: Consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a Replat for Lots 9, 10, & 11, Block A, Rockwall Technology Park Addition being a 23.1612-acre parcel of land identified as Lots 5, 7, & 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, generally located at the northwest corner of the intersection of SH-276 and Corporate Crossing [FM-549], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Bethany Ross	03/19/2025	Approved w/ Comments	

03/19/2025: P2025-010: Replat for Lots 9-11, Block A, Rockwall Technology Park

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lots 9, 10, & 11, Block A, Rockwall Technology Park Addition being a 23.1612-acre parcel of land identified as Lots 5, 7, & 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, generally located at the northwest corner of the intersection of SH-276 and Corporate Crossing [FM-549].

1.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (P2025-010) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

Final Plat Rockwall Technology Park Addition Lots 9-11, Block A Being a Replat of Rockwall Technology Park Addition Lots 5,7, & 8, Block A Being three (3) lots 23.1612 Acres or 1,008,901.872 SF City of Rockwall, Rockwall County, Texas

M.5 Please consolidate pages 1 and 2 to reduce the number of pages. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Please change the lot numbers as stated above in the title block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Please remove the building setbacks and the landscape easement from the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 The surveyor does not need a notary; their seal serves this purpose. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 Please provide the right-of-way, and centerline for SH-276 along the property lines. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

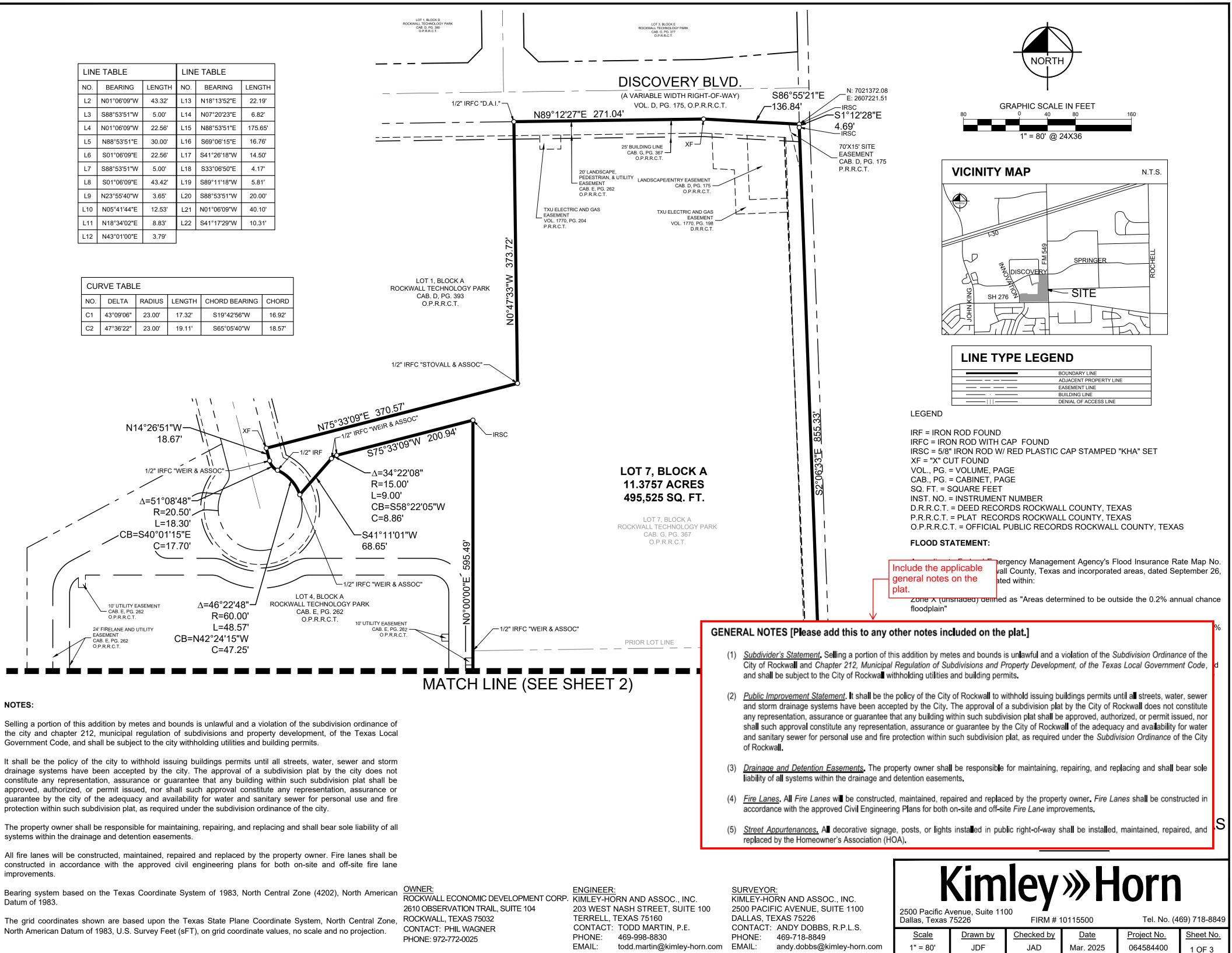
I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

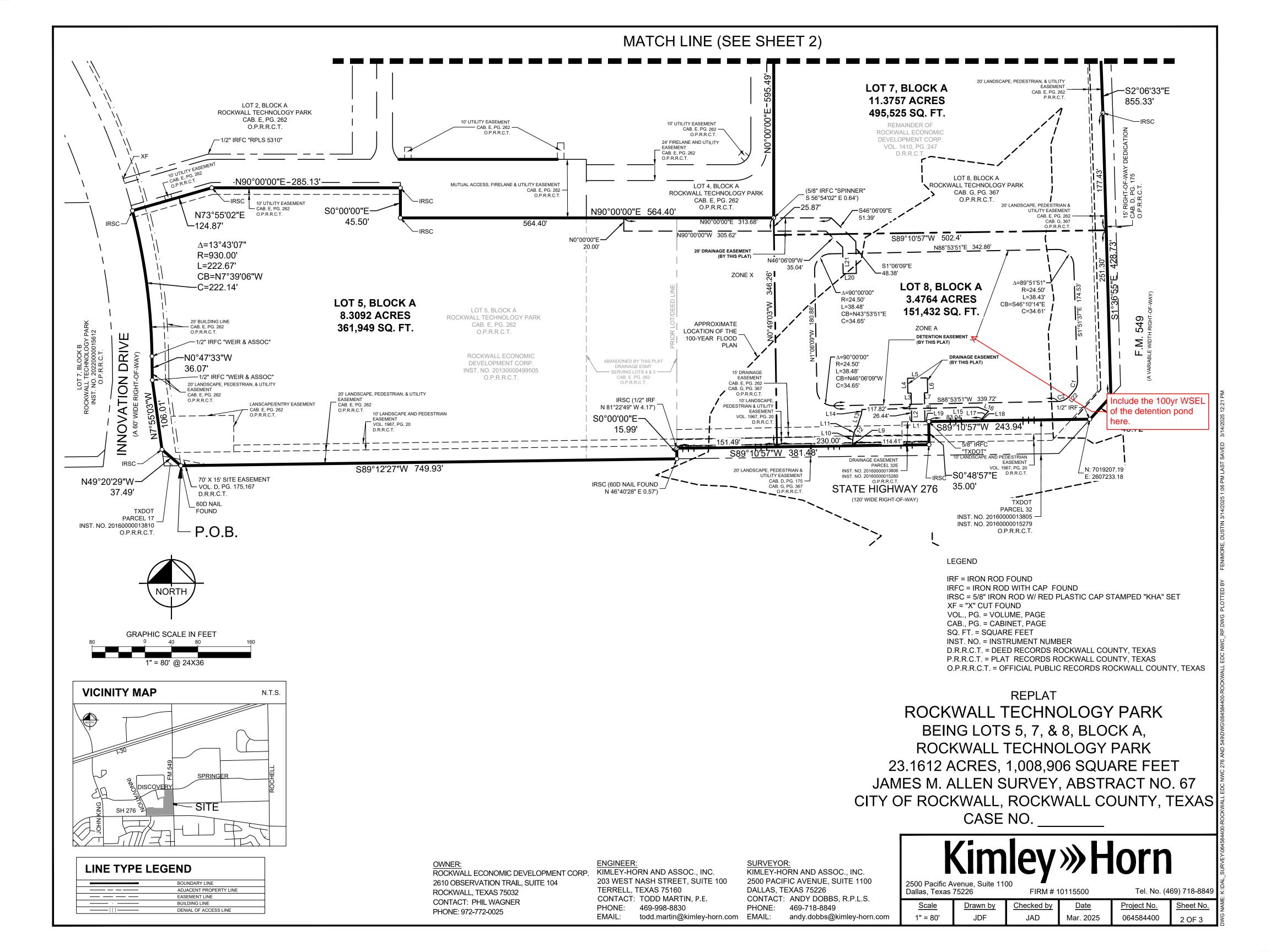
I.11 The projected meeting dates for this case are as follows:

Planning and Zoning Commission: March 25, 2025 City Council: April 7, 2025

I.12 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

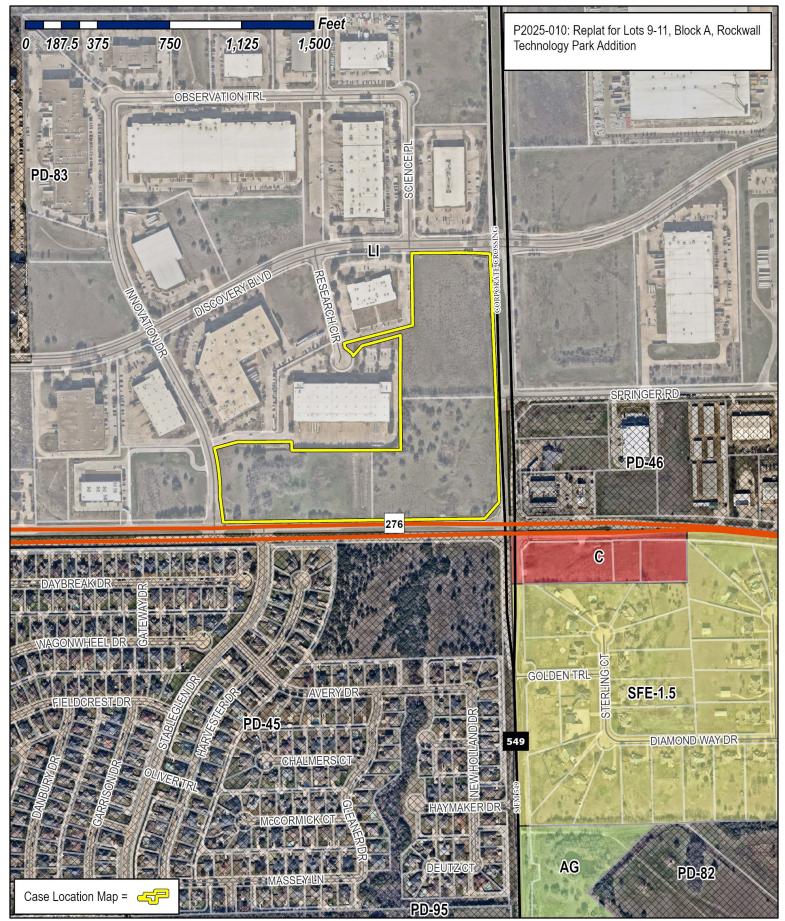
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments
03/20/2025: 1. Include the app	licable general notes on the plat.		
2. Include the 100yr WSEL of the	he detention pond here.		
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/20/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/19/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/17/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/17/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/17/2025	Approved
No Comments			





DEVELOPMENT APPLICATION City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087			FION PLA NOT CITY SIGN DIRE CITY	STAFF USE ONLY PLANNING & ZONING CASE NO. <u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:	
PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:					
PLATTING APPLICATION FEES: MASTER PLAT (\$100.00 + \$15.00 ACRE) 1 PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1 FINAL PLAT (\$300.00 + \$20.00 ACRE) 1 AMENDING OR MINOR PLAT (\$150.00) PLAT REINSTATEMENT REQUEST (\$100.00) SITE PLAN APPLICATION FEES:			ZONING APPLICATION FEES: ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1 SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 OTHER APPLICATION FEES: TREE REMOVAL (\$75.00) VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2 NOTES: ': IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE		
□ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹ □ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)			PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. A <u>\$1,000.00</u> FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING		
			PERMIT.		
PROPERTY INFORMATION [PLEASE PRINT]					
ADDRESS Northwest Corner of State Highway 276 & Corporate Crossing					
	Rockwall Technology			LOT 8	BLOCK A
GENERAL LOCATION Northwest Corner of State Highway 276 & Corporate Crossing					
ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]					
CURRENT ZONING LI CURRENT USE Undeveloped					
PROPOSED ZONING	G LI		PROPOSED USE	Office / Detention F	Pond
ACREAG	E 23.16	LOTS [CURRENT]	3	LOTS [PROPOSED]	3
SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.					
OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]					
	Phil Wagner			Phil Wagner	
CONTACT PERSON	Rockwall EDC	C	ONTACT PERSON	Rockwall EDC	
ADDRESS	2610 Observation Trail		ADDRESS	2610 Observation T	rail
	Suite 104			Suite 104	
CITY, STATE & ZIP	Rockwall, TX 75032	(CITY, STATE & ZIP	Rockwall, TX 75032	2
PHONE	(972) 772-0025		PHONE	(972) 772-0025	
E-MAIL	pwagner@rockwalledc	com	E-MAIL	pwagner@rockwalle	edc.com
NOTARY VERIFICATION [REQUIRED] BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Phil Wagner jowner the Undersigned, who STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:					
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AD THE APPLICATION FEE OF 5 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 20,25 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."					
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF March 20 25					
1 2 Notary Public, State of Texas					
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS					

DEVELOPMENT APPLICATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745

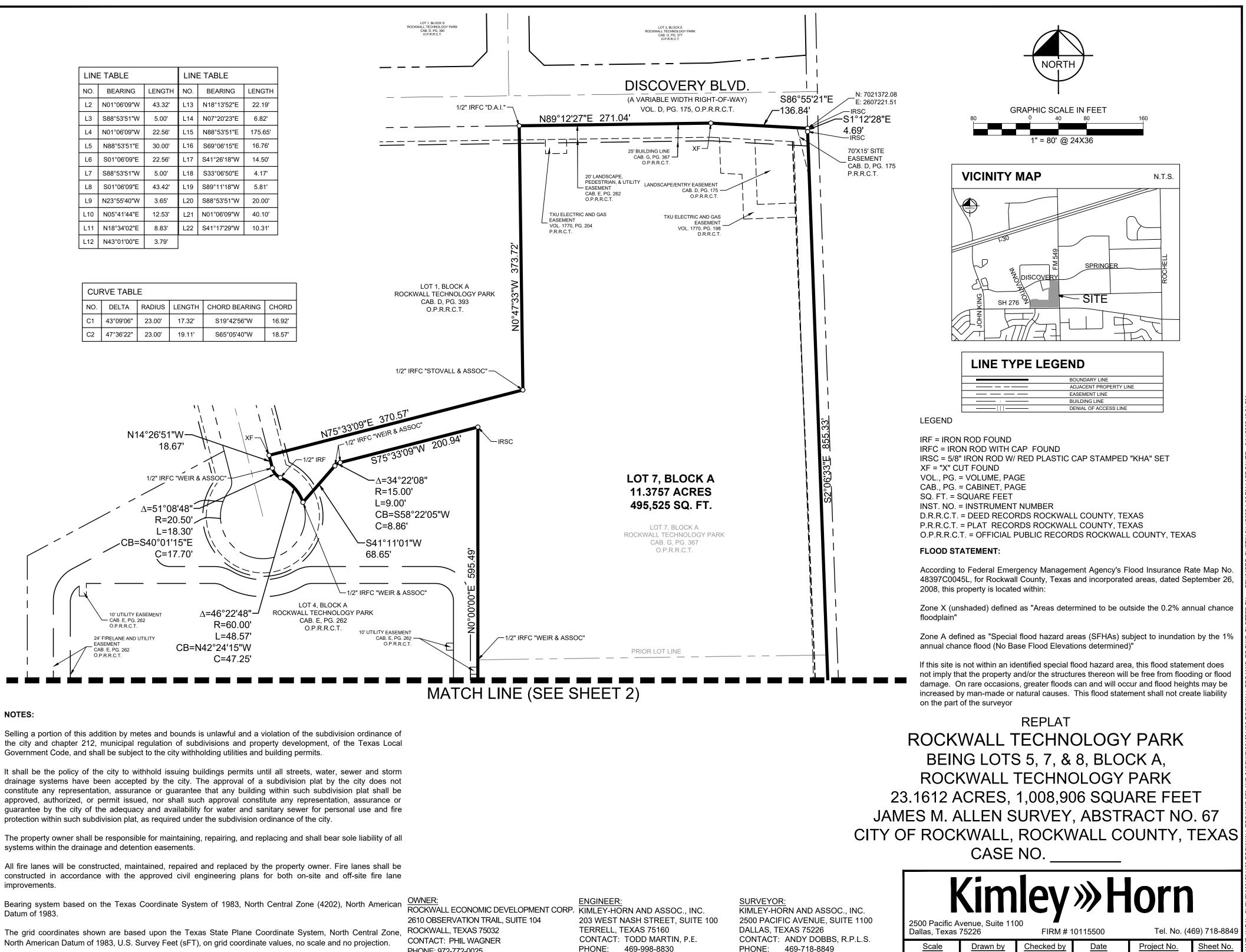




City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





PHONE: 972-772-0025

PHONE: 469-998-8830 EMAIL: todd.martin@kimley-horn.com EMAIL:

andy.dobbs@kimley-horn.com

1" = 80'

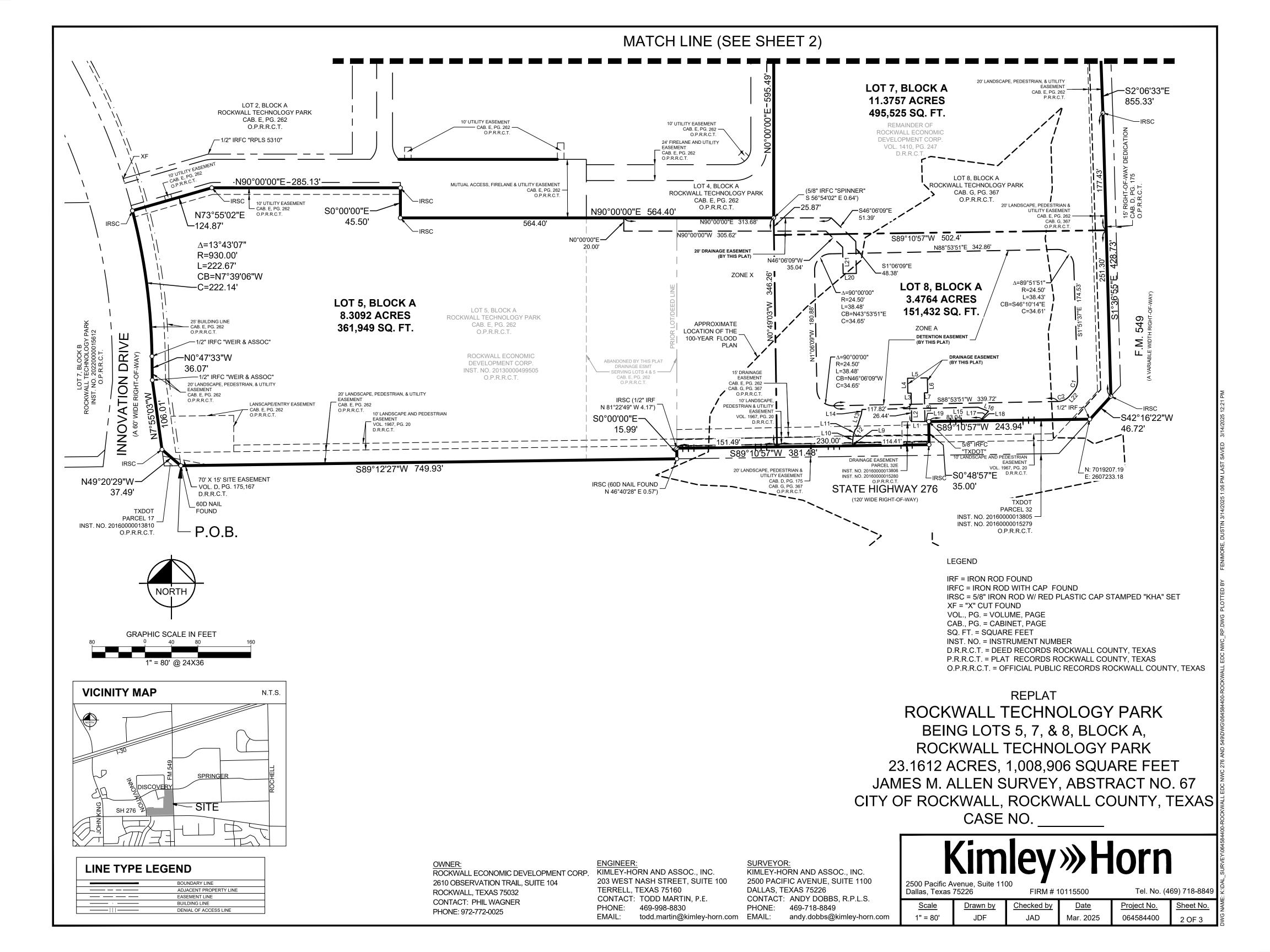
JDF

JAD

Mar. 2025

064584400

1 OF 3



OWNERS CERTIFICATION:

STATE OF TEXAS § COUNTY OF ROCKWALL §

WHEREAS ROCKWALL ECONOMIC DEVELOPMENT CORPORATION are the owners of a tract of land situated in the James M. Allen Survey, Abstract No. 67, City of Rockwall, Rockwall County, Texas and being all of a tract of land described in Special Warranty Deed to ROCKWALL ECONOMIC DEVELOPMENT CORPORATION, recorded in Instrument No. 20130000499505, Official Public Records, Rockwall County, Texas, and being a portion of a tract of land described in Special Warranty Deed to ROCKWALL ECONOMIC DEVELOPMENT CORPORATION, recorded in Volume 1410, Page 247, of the Deed Records of Rockwall County, Texas, and being all of Lot 5, Block A, Rockwall Technology Park addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet E, Page 262, of said Official Public Records, and being all of Lots 7 and 8, Block A, Rockwall Technology Park addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet G, Page 367, of said Official Public Records, and being more particularly described as follows:

BEGINNING at a 60D nail found at the southeast end of a corner clip at the intersection of the north right-of-way line of State Highway 276 (a 120 foot wide right-of-way) and the east right-of-way line of Innovation Drive (a 60 foot wide right-of-way);

THENCE with said corner clip, North 49°20'29" West, a distance of 37.49 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for the northwest corner of said corner clip;

THENCE with said east right-of-way line of Innovation Drive, the following courses and distances:

- North 07°55'03" West, a distance of 106.01 feet to a 1/2" iron rod with plastic cap stamped "WEIR & ASSOC" found for corner;
- North 00°47'33" West, a distance of 36.07 feet to a 1/2" iron rod with plastic cap stamped "WEIR & ASSOC" found for the beginning of a tangent curve to the left with a radius of 930.00 feet, a central angle of 13°43'07", and a chord bearing and distance of North 07°39'06" West, 222.14 feet;
- In a northwesterly direction, with said tangent curve to the left, an arc distance of 222.67 feet to a point 5/8" iron rod with plastic cap stamped "KHA" set for the northwest corner of said Lot 5 and the southwest corner of Lot 4, Block A of said Rockwall Technology Park addition (Cabinet E, Page 262), in said east right-of-way line of Innovation Drive;

THENCE departing said east right-of-way line of Innovation Drive, with the north line of said Lot 5, the following courses and distances:

- North 73°55'02" East, a distance of 124.87 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner;
- North 90°00'00" East, a distance of 285.13 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner;
- South 00°00'00" East, a distance of 45.50 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner; orth 90°00'00" East, passing at a distance of 417.87 feet, the northeast corner of said Lot 5, and continuing with the north
- line of said Lot 8, for a total distance of 564.40 feet to a point for the southeast corner of said Lot 4, from which a 5/8" iron rod with plastic cap stamped "SPINNER" found bears South 56°54'02" East, a distance of 0.64 feet;

THENCE with the most northerly west line of said Lot 8, North 00°00'00" East, passing at a distance of 185.79 feet, the northwest corner of said Lot 8, continuing with a west line of said Lot 7 for a total distance of 595.49 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner;

THENCE with the most northerly south lines of said Lot 7, the following courses and distances:

- South 75°33'09" West, a distance of 200.94 feet to a 1/2" iron rod with plastic cap stamped "WIER & ASSOC" found for the beginning of a tangent curve to the left with a radius of 15.00 feet, a central angle of 34°22'08", and a chord bearing and distance of South 58°22'05" West, 8.86 feet;
- In a southwesterly direction, with said tangent curve to the left, an arc distance of 9.00 feet to a 1/2" iron rod with plastic cap stamped "WIER & ASSOC" found for corner;
- South 41°11'01" West, a distance of 68.65 feet to a 1/2" iron rod with plastic cap stamped "WIER & ASSOC" found in the east right-of-way line of Research Circle (a variable width right-of-way), said point being the beginning of a non-tangent curve to the left with a radius of 60.00 feet, a central angle of 46°22'48", and a chord bearing and distance of North 42°24'15" West, 47.25 feet;

THENCE with said east right-of-way line of Research Circle, the following courses and distances:

- In a northwesterly direction, with said non-tangent curve to the left, an arc distance of 48.57 feet to a 1/2" iron rod found for the beginning of a reverse curve to the right with a radius of 20.50 feet, a central angle of 51°08'48", and a chord bearing and distance of North 40°01'15" West, 17.70 feet;
- In a northwesterly direction, with said reverse curve to the right, an arc distance of 18.30 feet to a 1/2" iron rod with plastic cap stamped "WIER & ASSOC" found for corner;
- North 14°26'51" West, a distance of 18.67 feet to an "X" cut in concrete found for corner;

THENCE departing said east right-of-way line of Research Circle, with the most southerly north line of said Lot 7, North 75°33'09" East, a distance of 370.57 feet to a 1/2" iron rod with plastic cap stamped "STOVALL & ASSOC" found for corner;

THENCE with a west line of said Lot 7, North 00°47'33" West, a distance of 373.72 feet to a 1/2" iron rod with plastic cap stamped "D.A.I." found for the northwest corner of said Lot 7, in the south right-of-way line of Discovery Boulevard (a variable width right-of-way);

THENCE with said south right-of-way line of Discovery Boulevard, the following courses and distances:

North 89°12'27" East, a distance of 271.04 feet to an "X" cut in concrete found for corner; South 86°55'21" East, a distance of 136.84 feet to a 5/8" iron rod with plastic cap stamped "KHA" set at the intersection of said south right-of-way line of Discovery Boulevard and the west right-of-way line of F.M. 549 (a variable width right-of-way);

THENCE with said west right-of-way line of F.M. 549, the following courses and distances:

South 01°12'28" East, a distance of 4.69 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner; South 02°06'33" East, a distance of 855.33 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner; South 01°36'55" East, a distance of 428.73 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for the northeast corner of a corner clip at the intersection of said west right-of-way line of F.M. 549 and said north right-of-way line of State Highway 276;

THENCE with said corner clip, South 42°16'22" West, a distance of 46.72 feet to a 1/2" iron rod found for corner;

THENCE with said north right-of-way line of State Highway 276, the following courses and distances:

- South 89°10'57" West, a distance of 243.94 feet to a 5/8" iron rod with plastic cap stamped "TXDOT" found for corner; South 00°48'57" East, a distance of 35.00 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner;
- South 89°10'57" West, passing at a distance of 324.66 feet, the west line of said Lot 8, continuing with said north right-of-way line of State Highway 276 a distance of 381.48 feet to a point for corner, from which, a 1/2" iron rod found bears North 89°22'49" West, a distance of 4.17 feet:
- South 00°00'00" East, a distance of 15.99 feet to a point for corner, from which a 60D Nail found bears North 46°40'28" East, a distance of 0.57 feet:
- South 89°12'27" West, a distance of 749.93 feet to the **POINT OF BEGINNING** and containing 1,008,906 square feet or 23.1613 acres of land.

Bearing system based on the State Plane Coordinate System of 1983, Texas North Central Zone (4202), North American Datum of 1983 (2011).

OWNERS DEDICATION:

STATE OF TEXAS § COUNTY OF ROCKWALL §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

We, **ROCKWALL ECONOMIC DEVELOPMENT CORP.**, the undersigned own and designated herein as the **ROCKWALL TECHNOLOGY PARK** to the City name is subscribed hereto, hereby dedicate to the use of the public for watercourses, drains, easements and public places thereon shown on the p expressed, except those created by separate instrument, which are governe instruments. We further certify that all other parties who have a mortgage or **TECHNOLOGY PARK** have been notified and signed this plat. We unders easement strips shown on this plat for the purposes stated and for the mutu utilities desiring to use or using same, except those created by separate instruterms of such separate instruments. We also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the off as described herein.
- 2. Any public utility shall have the right to remove and keep removed all or parts shrubs, or other growths or improvements which in any way endanged maintenance or efficiency of their respective system on any of these eases shall at all times have the right of ingress or egress to, from and upon the of construction, reconstruction, inspecting, patrolling, maintaining, and ei part of their respective system without the necessity of, at any time, procur
- The City of Rockwall will not be responsible for any claims of any natur the establishment of grade of streets in the subdivision.
- 4. The developer/property owner and subdivision engineer shall bear to improvements.
- The developer/property owner shall be responsible for the necessary fac and drainage controls such that properties within the drainage area are drainage from the development.
- 6. No house dwelling unit, or other structure shall be constructed on any lo any other person until the developer and/or owner has complied with al Regulations of the City of Rockwall regarding improvements with respect streets on which property abuts, including the actual installation of str paving, curb and gutter, water and sewer, drainage structures, storm struall according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as and/or city administrator, computed on a private commercial rate basis, has be accompanied by an agreement signed by the developer and/or owner, au improvements at prevailing private commercial rates, or have the same made same out of the escrow deposit, should the developer and/or owner fail improvements within the time stated in such written agreement, but in no case s such improvements itself. Such deposit may be used by the owner and/or develop work progresses in making such improvements by making certified requisitions the evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secret such improvements for the designated area, guaranteeing the installation the bond, which time shall be fixed by the city council of the city.

We further acknowledge that the dedications and/or exaction's made herein and Subdivision upon the public services required in order that the development future growth needs of the City; We, our successors and assigns hereby waive action that we may have as a result of the dedication of exactions made herein.

Property Owner Signature

STATE OF TEXAS § COUNTY OF ROCKWALL §

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ______ day of _

Notary Public in and for the State of _____

SURVEYOR'S STATEMENT:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, J. ANDY DOBBS, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

her of the land shown on this plat,	Dated this the day of	, 2025.	•	
y of Rockwall, Texas, and whose orever all streets, alleys, parks,			PRELIMINARY	
ourpose and consideration therein ad by the terms of such separate	J. ANDY DOBBS			
r lien interest in the ROCKWALL	Registered Professional Land Survey	or No. 6196	NOT BE RECORDED FOR	
stand and do hereby reserve the all use and accommodation of all	KIMLEY-HORN AND ASSOC., INC.		ANY PURPOSE AND	
ument, which are governed by the	2500 Pacific Ave., Suite 1100 Dallas, Texas 75226		SHALL NOT BE USED OR	
	469-718-8849		VIEWED OR RELIED UPON AS A FINAL	
f-site and on-site utility easements	andy.dobbs@kimley-horn.com		SURVEY DOCUMENT	
	STATE OF TEXAS § COUNTY OF DALLAS §			
part of any buildings, fences, trees, ger or interfere with construction,	-			
sement strips; and any public utility			nd State, on this day personally appeared J. ANDY DOBBS instrument and acknowledged to me that he executed the	
e said easement strips for purpose either adding to or removing all or		ed and under oath stated that the statem		
iring the permission of anyone.	GIVEN LINDER MY HAND AND SEA	L OF OFFICE this day of	2025.	
re resulting from or occasioned by		uu, o	2020.	
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	Notary Public in and for the State of T			
ilities to provide drainage patterns	Notary Public III and for the State of T	6445		
e not adversely affected by storm		SIGNATURE BLOCK		
ot in this addition by the owner or	APPROVED:			
all requirements of the Subdivision				
to the entire block on the street or reets with the required base and			Rockwall, Texas, was approved by the City Council of	
uctures, storm sewers, and alleys,	the City of Rockwall, Texas on the _	day of, 20		
determined by the city's engineer				
been made with the city secretary,				
uthorizing the city to make such				
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shall the City be obligated to make				
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retary in a sum equal to the cost of		City Engineer		
ereof within the time stated in the	City Secretary	City Engineer		
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202	-			
	F	ROCKWALL IEC	CHNOLOGY PARK	
		BEING LOTS 5	7, & 8, BLOCK A,	
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		ROCKWALL IEC	CHNOLOGY PARK	
	23	1612 ACRES 1 00	08,906 SQUARE FEET	
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	CITY OF	[:] ROCKWALL, RO	CKWALL COUNTY, TEXA	5
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		500 Pacific Avenue, Suite 1100	-	0 / 4
	D	allas, Texas 75226	FIRM # 10115500 Tel. No. (469) 718-88	
		Scale Drawn by Cheo	cked by Date Project No. Sheet N	0

N/A

JDF

JAD

Mar. 2025

064584400

3 OF 3



CITY OF ROCKWALL

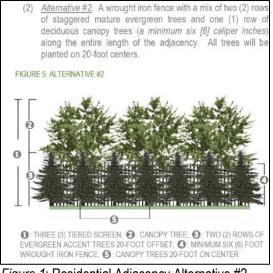
PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	Bethany Ross <i>; Planner</i>
DATE:	March 25, 2025
SUBJECT:	MIS2025-005; Exception to the Residential Adjacency Standards

On August 13, 2024, the Planning and Zoning Commission approved a site plan [*Case No. SP2024-014*] for a *Retial Builidng* and *Daycare Facility* on an 2.649-acre parcel of land (*i.e.Lot 13, Rockwall Business Park East Addition*) located on the southside of E. Ralph Hall Parkway west of the intersection of E. Ralph Hall Parkway and S. Goliad Street [*SH-205*]. As part of the site plan case, the Planning and Zoning Commission granted exceptions to the *Primary and Secondary Articulation Requirements* of the Unified Development Code (UDC). To off-set these requested exceptions, the applicant offered the following compensatory measures: [*1*] 21% stone on the strip retail building, [*2*] 30% stone on the daycare facility, [*3*] a 20-foot landscape buffer in lieu of the required ten (10) foot landscape buffer, and [*4*] additional landscaping above and beyond the minimum requirements.

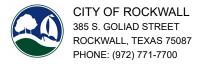
On March 14, 2025, the applicant – *Dyanada Nevgi of SRV Land Building and Real Estate, LLC* -- submitted a development application requesting the approval of an *Exception* to the residential adjacency standards for the purpose of allowing three (3)-tiered screening in leui of the originally approved masonry wall. According to Subsection 05.02, *Landscape Screening*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers." However, the UDC does provide an alternative, allowing the Planning and Zoning Commission to consider the use of three-tiered landscaping in such cases. In this instance, the applicant is proposing three (3)-tiered landscaping along the entire length of the residential adjacency.



<u>Figure 1</u>: Residential Adjacency Alternative #2

According to Subsection 09.01, *Exceptions to the General Standards*, "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC) where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." The UDC further stipulates that a minimum of two compensatory measures must be provided for each exception requested to offset its potential impact. In this case, the applicant has not proposed any additional compensatory measures beyond the alternative landscaping method. The requested alternative for the use of three (3)-tiered landscaping along the adjacency does not appear to create a negative impact; however, exceptions are a discretionary decision for the Planning and Zoning Commission. In addition, exceptions require a supermajority vote (*i.e. a three-fourths vote of those members present*) for approval. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff will be available at the meeting on *March 25, 2025*.

PROJECT COMMENTS



DATE: 3/20/2025

PROJECT NUMBER:	MIS2025-005
PROJECT NAME:	Exception to Residential Adjacney Standards
SITE ADDRESS/LOCATIONS:	950 & 962 E. Ralph Hall

CASE CAPTION: Discuss and consider a request by Dnyanada Nevgi of SRC Land Building and Real Estate, LLC on behalf of Rajesh Malviya of Buffalo Country Properties, LLC for the approval of a Miscellaneous Request for an Exception to the Screening Requirements for Residential Adjacency for a 2.649-acre parcel of land identified as Lot 13, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 950 E. Ralph Hall Parkway, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Madelyn Price	03/20/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	03/20/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	03/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	03/17/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	03/17/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	03/17/2025	Approved w/ Comments	
03/17/2025: 1. Tahoma 31 is a	great turfgrass with many benefits			
2. Recommend that the playgro	ound equipment and installation is IPEMA certifi	ed		
03/17/2025: Tree mitigation ap	proved			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Bethany Ross	03/19/2025	Approved	

03/19/2025: MIS2025-005; Exception to the Residential Adjacency Requirements Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Miscellaneous Request for an Exception to the Screening Requirements for Residential Adjacency for a 2.649-acre parcel of land identified as Lot 13, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, and addressed as 950 E. Ralph Hall Parkway.

1.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

I.3 According to Subsection 05.02, Landscape Screening, of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC), "(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers." As an alternative the code does allow the Planning and Zoning Commission to consider the use of three (3) tiered landscaping along the adjacency. In this case, the applicant is providing three (3) tiered landscaping along the adjacency.

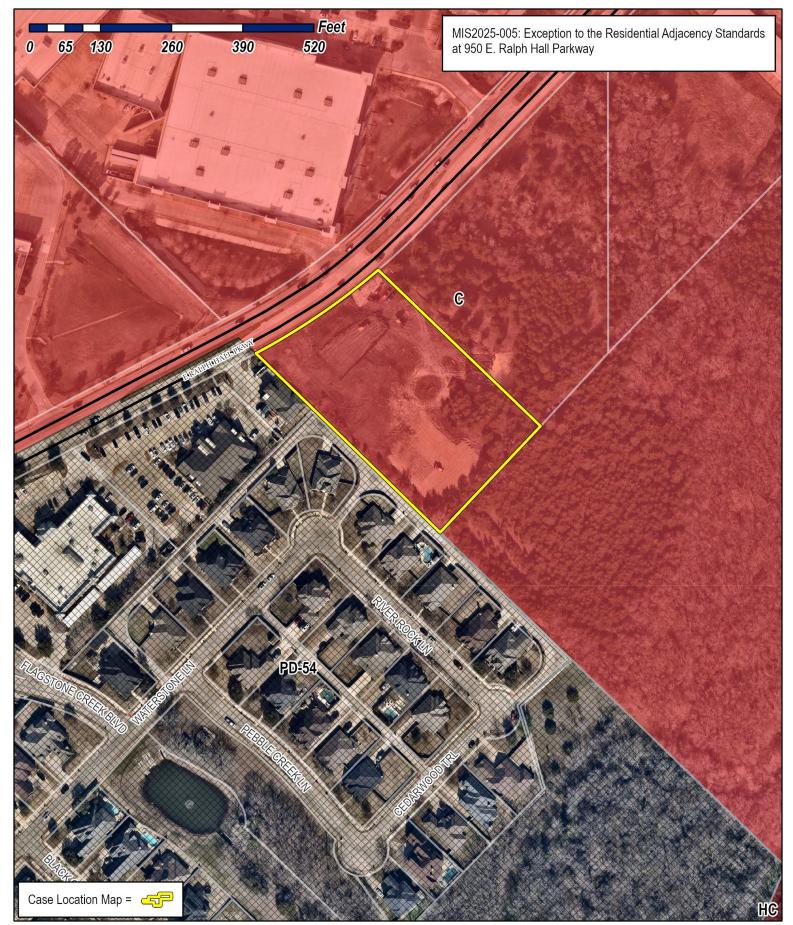
I.4 According to Subsection 09.01, Exceptions to the General Standards, "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC) where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." To request an exception the code goes on to require that a minimum of two (2) compensatory measures be provided for each exception requested. The purpose of the compensatory measures is to try to directly off-set the impact of requested exception. In this case the applicant has not provided any subsequent compensatory measures.

1.5 According to Subsection 08.02, General Fence Standards, "PVC mesh (i.e. tennis court mesh/windscreen) or other materials or appurtenances (e.g. slats, bamboo, mesh netting, fake or artificial plants or patterned material, signage, banners, etc.) intended to provide screening that are affixed to wrought iron, decorative metal, chain-link or semi-transparent fencing shall be prohibited."

1.6 Please note that a supermajority vote (i.e. a three-fourths vote of those members present) is required for the approval of an exception.

1.7 Please note the scheduled meeting for this case will be held on March 25, 2025 at 6:00 PM in the City Hall Council Chambers. Please also note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request.

		DEVELOPN	IENT APPLIC	ATION		FF USE ONLY	ASENO	
R		City of Rockwal	I oning Department et		NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING:			
		Rookwall, Texas /	5067		CITY	ENGINEER:		
PLEASE CHE	CK THE	APPROPRIATE BOX BELOW	TO INDICATE THE TYPE	OF DEVELOPME	NT REC	QUEST [SELECT	ONLY ONE BOX	Ŋ:
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	LAN (\$25 DED SITE	CATION FEES: 60.00 + \$20.00 ACRE) ¹ E PLAN/ELEVATIONS/LANDS		<u>NOTES:</u> 1: IN DETER PER ACRE A 2: A \$1,000.	MINING TH MOUNT. I	HE FEE, PLEASE USE T FOR REQUESTS ON LE	THE EXACT ACREAG	E WHEN MULTIPLYING BY THE , ROUND UP TO ONE (1) ACRE. EE FOR ANY REQUEST THAT : TO AN APPROVED BUILDING
PROPERT	YINFO	ORMATION [PLEASE PRIN	T]					
A	DDRES	950 & 962 E. R	alph Hall Pkwy. F	Rockwall, T	X 75	032		
SUBDIVISION ROCKWALL BUSINESS PARK EAST				ST		LOT	13	BLOCK
GENERAL LOCATION RALPH HALL PKWY, TX								
ZONING, S	SITE PI	AN AND PLATTING		SE PRINT]				
CURRENT				CURREN	IT USE	С		
PROPOSED	ZONING	3		PROPOSE	D USE			
A	CREAGE	2.649	LOTS [CURRENT	1 1		LOTS	[PROPOSED]	
	101101	<u>PLATS</u> : BY CHECKING THIS APPROVAL PROCESS, AND FA ENIAL OF YOUR CASE.	BOX YOU ACKNOWLEDGE 1 ILURE TO ADDRESS ANY OF	HAT DUE TO THE STAFF'S COMME	E PASSA NTS BY	AGE OF <u>HB3167</u> TH THE DATE PROVIE	HE CITY NO LON DED ON THE DEV	IGER HAS FLEXIBILITY WITH ELOPMENT CALENDAR WILL
OWNER/AI	PPLIC	ANT/AGENT INFORM	ATION [PLEASE PRINT/CH	ECK THE PRIMAR	RY CONT	ACT/ORIGINAL SI	GNATURES ARE	REQUIREDI
M O.	WNER	BUFFALO COUNTRY F	PROPERTIES LLC	P APPLIC				al Estate LLC.
CONTACT PE	RSON	Rajesh Malviya		CONTACT PER	SON	Dnyanada Ne	vgi	
ADD	RESS	12050 Research Rd		ADDF	RESS	811 S Centra	I Expressway	, Suite 306
		#9305						
CITY, STATE	& ZIP	Frisco, TX 75033		CITY, STATE 8	& ZIP	Richardson, T	X- 75080	
	HONE	214-454-6944		PH	ONE	214-396-37	37	
	E-MAIL	nrmalviya@yahoo.co	m	E-I	MAIL	pm@srclandt	ouilding.com	
BEFORE ME, TH	IE UNDER	CATION [REQUIRED] ISIGNED AUTHORITY, ON THIS ON ON THIS APPLICATION TO E	DAY PERSONALLY APPEARE BE TRUE AND CERTIFIED THE	D Mona	aq	garwal	[OWNER]	THE UNDERSIGNED, WHO
INFORMATION C SUBMITTED IN CO	CONTAINE	AM THE OWNER FOR THE PURI TO COVER THE C 20 35 BY SIGNI WITHIN THIS APPLICATION T ION WITH THIS APPLICATION, IF S AND SEAL OF OFFICE ON THIS	ING THIS APPLICATION, HA ING THIS APPLICATION, I AGRI O THE PUBLIC. THE CITY IS SUCH REPRODUCTION IS ASSC THE 4 DAY OF MA	IS BEEN PAID TO T EE THAT THE CITY ALSO AUTHORIZI DCIATED OR IN RES	OF ROC	OF ROCKWALL ON "KWALL (I.E. "CITY") DEPMITTED TO D	IS AUTHORIZED	AND PERMITTED TO PROVIDE
		OWNER'S SIGNATURE	Mona Aga	rwal			1	
NOTARY PUBLIC		FOR THE STATE OF TEXAS	gerin bi	ma		MY COMM	IS CONTRACTOR	Jenny Marie Brown My Commission Expires 12/15/2026 Notary ID129935855
	DE	VELOPMENT APPLICATION * (CITY OF ROCKWALL + 385 SO	OUTH GOLIAD STR	REET + RO	OCKWALL, TX 750	8	and 45





City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





February 06, 2025

City Planner Planning & Zoning Department City of Rockwall 385 S. Goliad St Rockwall, Texas 75087

Re: Variance Request for Screening from Residential – Pinnacle Montessori Academy of Rockwall at 950 & 962 E Ralph Hall Pkwy, Rockwall, TX (SP2024-14)

As part of the Site Plan for the above-mentioned project, we are proposing a change in the screening wall between our development and the adjacent residential property located south of this project. Following UDC Guidelines, Article 8, Section 05.02 (B), we are proposing an acceptable alternative to the masonry by installing a wrought iron fence with three (3) tiered vegetative screening.

Our mission is to promote green design across all our schools. A wrought iron fence will provide better air circulation, the three (3) tiered vegetative screening will serve as a sound barrier and also offer a more aesthetically pleasing view while still maintaining boundary definition and privacy. Landscaping with trees and shrubs contributes to better air quality and water absorption, reducing runoff compared to an impervious masonry structure. Additionally, an iron fence with landscape buffer is easier to maintain, and repair compared to a brick masonry wall. Any savings from this initiative will be invested in better playground equipment.

For replacing the masonry wall with the wrought iron fence, we are proposing the following option available per UDC guidelines:

Wrought iron fence of minimum six (6) feet in height on property line and three (3) tiered vegetative screening in 20 feet landscape buffer. The 20 feet landscape buffer will be of two (2) rows of evergreen accent trees 20 feet offset and canopy trees at 20 feet center to center.

We have revised our site plan and the landscape plan following the UDC Guidelines to ensure proper screening from the residential property.

As our proposal is within the guidelines of the UDC and not expected to have any adverse impact on project aesthetics, the quality of life and the surrounding environment, we request the City to grant us the variance. We would also like to receive City's input about which of the above two options would be preferable.

Please let us know if you have any questions or need further clarifications.

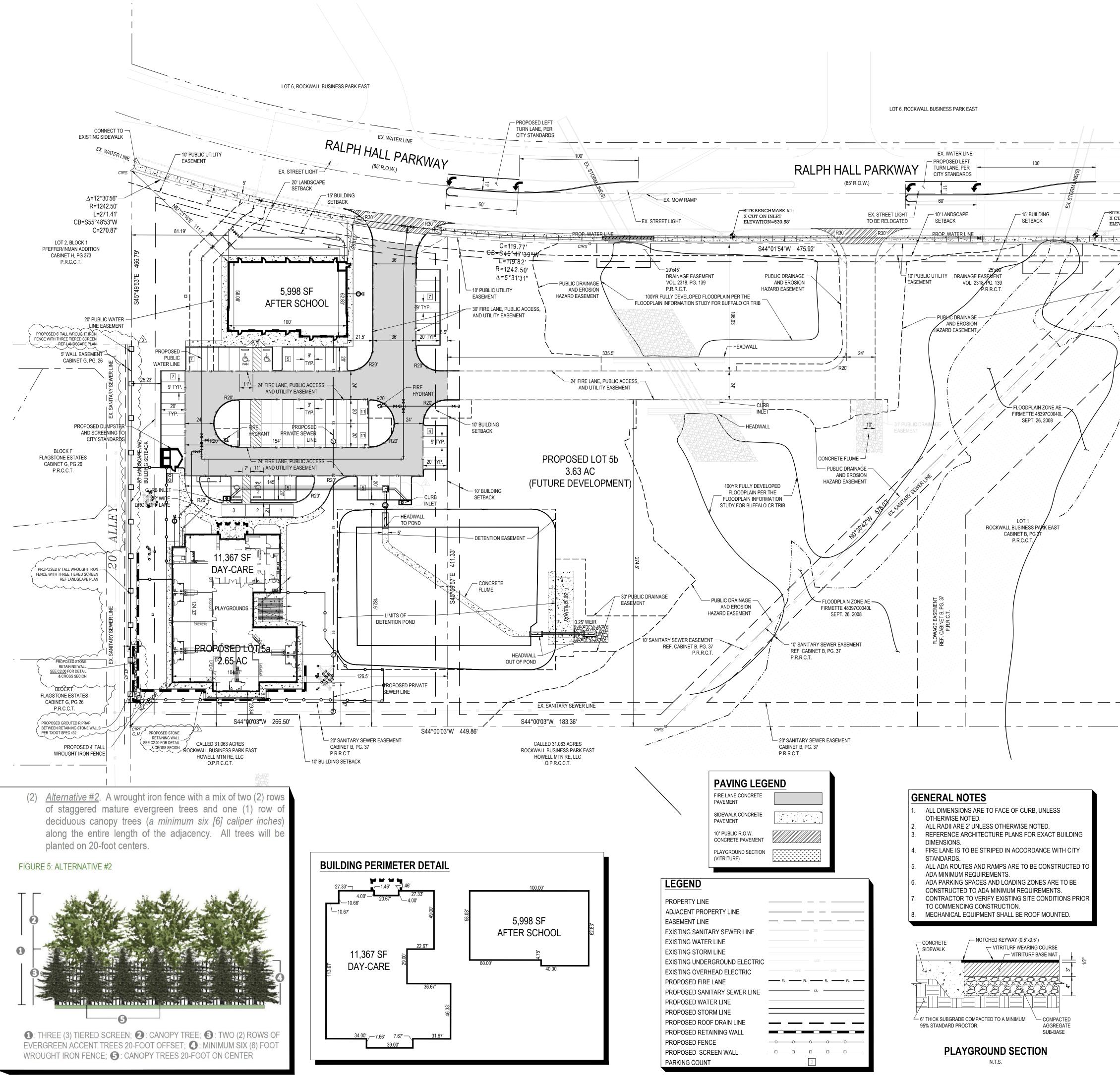
Sincerely,

Global Civil Solutions, LLC.

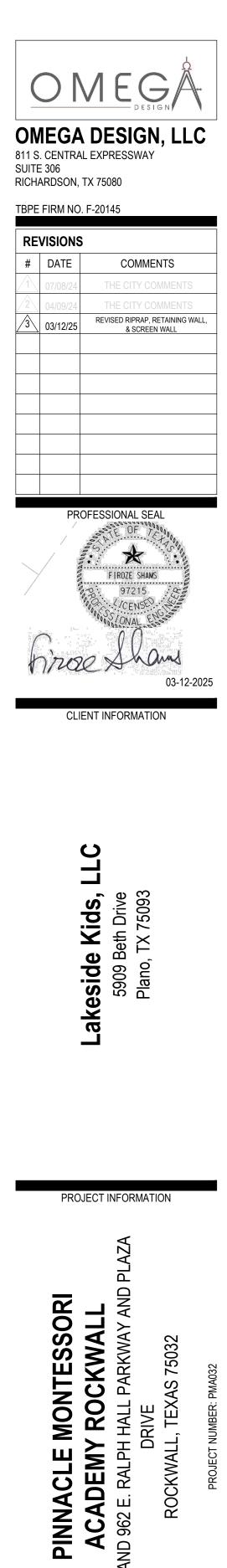
Firoze Shams, PE, PTOE President

11551 Forest Central Drive, Suite 220, Dallas, TX 75243 • Phone (214) 731-4117 • Fax (214) 702-5202

Info@global-civil.com



	PROJECT US NO CONTRACT OF A CO		OM 811 S. SUITE RICHA TBPE
EX. MOW RAMP —		John King Blvd	REV #
BENCHMARK #2:	LOCATION 1" = 100		
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	SCALE: 1"	= 40'	
			\geq
	RESPONSIBILITY NOTES		
	ALL RESPONSIBILITY FOR ADEQUAD DESIGN ENGINEER. THE CITY OF RELEASING PLANS FOR CONSTRUCT	ROCKWALL IN REIVEWING AND	-
	FOR ADEQUACY OR ACCURACY OF DE	-	
	ZONING DATA		
	ZONING: LAND USE:	"C" COMMERCIAL DAY-CARE, RETAIL, OFFICE	
	OVERLAY DISTRICT: FRONT BUILDING SETBACK:	N/A 15 FEET	
	REAR BUILDING SETBACK: SIDE (WEST) BUILDING SETBACK:	10 FEET 20 FEET	
	SIDE (EAST) BUILDING SETBACK: FRONT LANDSCAPE SETBACK:	10 FEET 20 FEET	
	SIDE (WEST) LANDSCAPE SETBACK: MAX BUILDING HEIGHT: PARKING RATIO FOR DAY-CARE:	20 FEET 3 STORIES OR 45 FEET 1 SPACE PER 300 SOLIARE FEET	
	PARKING RATIO FOR RETAIL/OFFICE:		
		AREA (SF) AREA (AC) AREA (%)	
	LOT AREA (PROPOSED LOT 5a) LOT AREA (PROPOSED LOT 5b)	115,390 2.65 - 158,147 3.63 -	
	BUILDING SIZE (LOT 5a) BUILDING SIZE (LOT 5b) IMPERVIOUS AREA (LOT 5a)	17,367 0.39 15.05% 57,937 1.33 50.21%	
	IMPERVIOUS AREA (LOT 5a)	11,302 0.26 7.14%	
	PARKING DATA		
	DAY-CARE: 1 SPACE PER 300 SF	38 SPACES REQUIRED	
	DAY-CARE: 1 SPACE PER 300 SF RETAIL/OFFICE: 1 SPACE/250 SQUARE FEET	24 SPACES REQUIRED	
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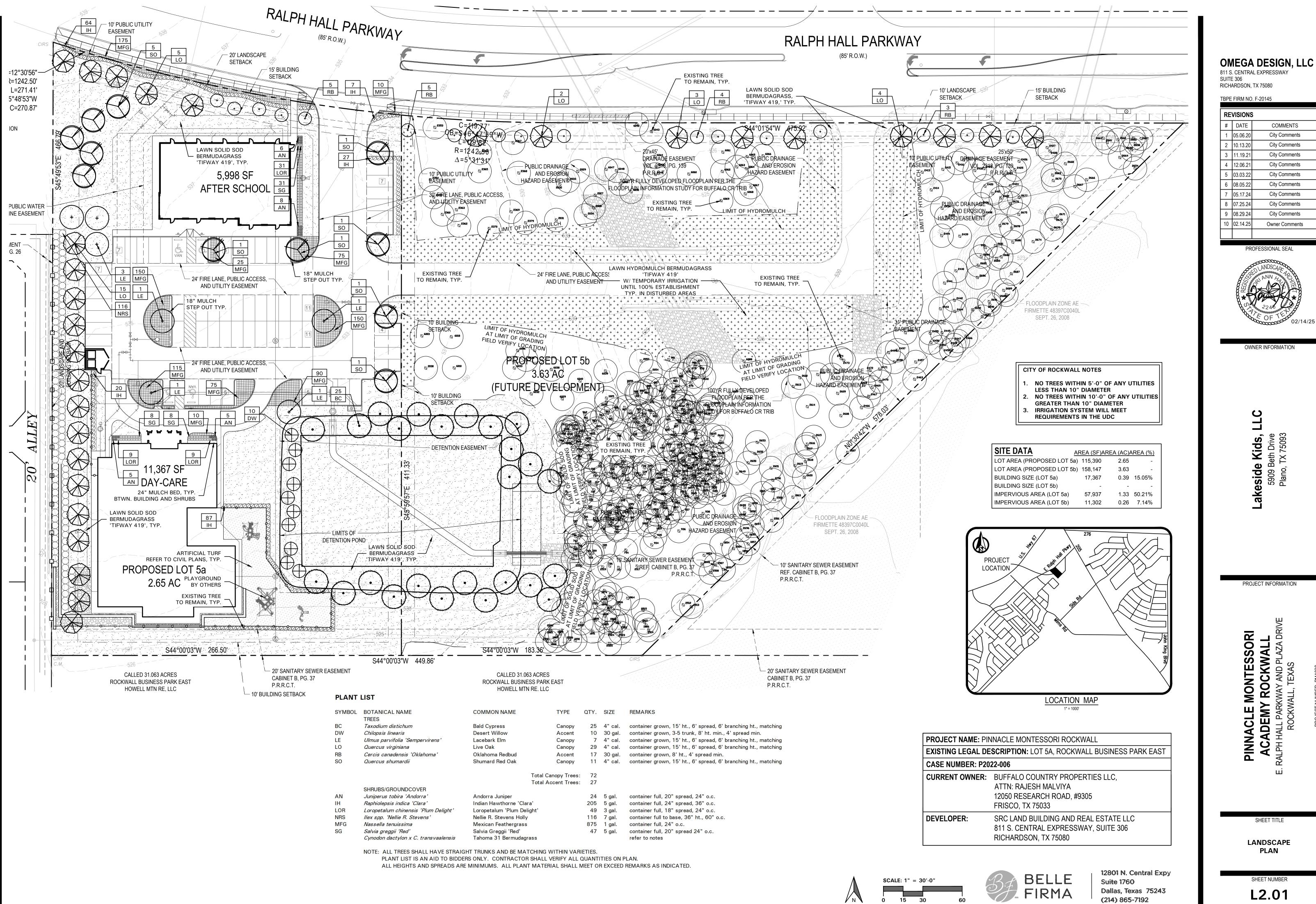


ITE PLAN

SHEET NUMBER

C1.00

ISSUE DATE:



L2.01

ISSUE DATE:



LANDSCAPE NOTES

- 1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- 2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- 3. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- 4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- 5. ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS. WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- 6. TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- 7. ALL LAWN AREAS SHALL BE SOLID SOD 'TAHOMA 31' BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 8. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- 9. CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- 10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

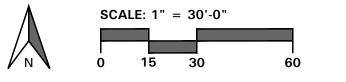
- 1. THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- 2. ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- 3. ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- 4. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- 5. ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- 6. CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

GENERAL LAWN NOTES

- AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- 2. CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- 3. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- 4. ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- 5. CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL
- 6. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- 7. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- 1. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- 2. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- 3. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- 4. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED 'TAHOMA 31' BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.



1. CONTRACTOR SHALL COORDINATE OPERATIONS AND

- 1. CONTRACTOR SHALL SCARIFY, RIP AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
- 2. 'TAHOMA 31' BERMUDAGRASS SEED SHALL BE EXTRA HULLED AND TREATED LAWN TYPE, SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET STATE LAW REQUIREMENTS.
- 3. FIBER SHALL BE ONE HUNDRED PERCENT (100%) WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY 'CONWEB' OR EQUAL.
- 4. FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL BE 'TERRO-TACK ONE', AS MANUFACTURED BY GROWERS, INC. OR EQUAL.
- 5. HYDROMULCH WITH 'TAHOMA 31' BERMUDAGRASS SEED AT A RATE OF TWO (2) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.
- 6. USE A 4'X8' BATTER BOARD AGAINST ALL BED AREAS.
- 7. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MAY 1, ALL HYDROMULCH AREAS TO BE WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH 'TAHOMA 31' BERMUDAGRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
- 8. ALL LAWN AREAS TO BE HYDROMULCHED SHALL HAVE ONE HUNDRED PERCENT (100%) COVERAGE PRIOR TO FINAL ACCEPTANCE.

LANDSCAPE TABULATIONS - Lot 5a THE CITY OF ROCKWALL, TEXAS

NON-RESIDENTIAL R.O.W. BUFFER

1. Ten (10') foot-wide landscape buffer with one tree per fifty (50) l.f. and one accent tree per (50) l.f., to include groundcover, berm, and shrubbery

RALPH HALL PARKW	/AY: 272 l.f.
Required	Provided
10' wide buffer	20' wide buffer
(5) trees, 4" cal.	(5) trees, 4" cal.
(5) accent trees	(5) accent trees

RESIDENTIAL BUFFER

1. Twenty (20') foot-wide landscape buffer with one tree per twenty (20) I.f. and two (2) rows of large shrubs.

Residential Adjacency: 320 l.f. Required 20' wide buffer

Provided 20' wide buffer (16) trees, 4" cal. (16) trees, 4" cal. double of large shrubs double row of large shrubs

PARKING LOT LANDSCAPING

- 1. Five (5%) percent of the interior parking lot shall be landscape.
- 2. One tree per ten (10) spaces for lots over 20,000 s.f.

Total interior parking lot area: 23,764 s.f. Total parking spaces: 61 spaces

Required 1,188 s.f. (5%) (7) trees, 4" cal.

SITE LANDSCAPING

Required

1. Fifteen (15%) percent of the total site shall be landscaped for COMMERCIAL. 2. Fifty (50%) percent of the total requirements shall be

Provided

5,104 s.f.

(12) trees, 4" cal.

located in the front of and along side buildings for COMMERCIAL.

Total site: 273,538 s.f.

Provided 41,031 s.f. (15%) 56,069 s.f. (20%) 20,516 s.f. (50%) 24,603 s.f. (60%)

DETENTION BASIN LANDSCAPING 1. One (1) canopy tree and (1) accent tree per 750 s.f. of dry area.

Detention Basin Area: 8,051 s.f.

Required

Provided (10) trees, 4" cal. (10) trees, 4" cal. (10) accent trees (10) accent trees

LANDSCAPE TABULATIONS - Lot 5b

THE CITY OF ROCKWALL, TEXAS

NON-RESIDENTIAL R.O.W. BUFER 1. Ten (10') foot-wide landscape buffer with one tree per fifty (50) I.f. and one accent tree per (50) I.f.

RALPH HALL PARKWAY: 596 I.f. Required 10' wide buffer (12) trees, 4" cal. (12) accent trees

Provided 10' wide buffer (9) trees, 4" cal. (12) accent trees (3) existing trees

CITY OF ROCKWALL NOTES

- 1. NO TREES WITHIN 5'-0" OF ANY UTILITIES
- LESS THAN 10" DIAMETER 2. NO TREES WITHIN 10'-0" OF ANY UTILITIES
- GREATER THAN 10" DIAMETER
- 3. IRRIGATION SYSTEM WILL MEET **REQUIREMENTS IN THE UDC**



12801 N. Central Expy Suite 1760 Dallas, Texas 75243 (214) 865-7192

OMEGA DESIGN, LLC 811 S. CENTRAL EXPRESSWAY SUITE 306

RICHARDSON, TX 75080 TRPE FIRM NO E-201/5

IBPE FIRM NO. F-20145						
RE	REVISIONS					
#	DATE	COMMENTS				
1	05.06.20	City Comments				
2	10.13.20	City Comments				
3	11.19.21	City Comments				
4	12.06.21	City Comments				
5	03.03.22	City Comments				
6	08.05.22	City Comments				
7	05.17.24	City Comments				
8	07.25.24	City Comments				
9	08.29.24	City Comments				
10	02.14.25	Owner Comments				

PROFESSIONAL SEAL



OWNER INFORMATION





SORI PINNACLE MONTESS ACADEMY ROCKWA RALPH HALL PARKWAY AND PLA ROCKWALL, TEXAS

SHEET TITLE

LANDSCAPE NOTES

SHEET NUMBER

L2.02

ISSUE DATE:

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

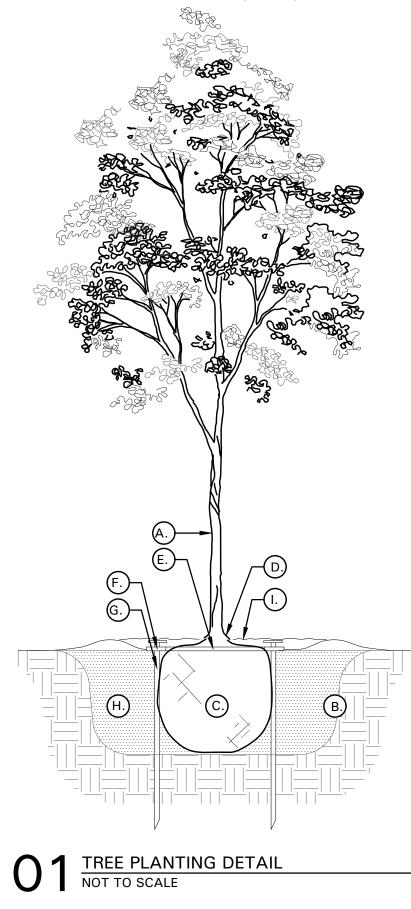
1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
- 1. Planting (trees, shrubs and grasses)
- 2. Bed preparation and fertilization
- 3 Notification of sources
- 4. Water and maintenance until final acceptance
- 5. Guarantee
- 1.3 REFERENCE STANDARDS
- A. American Standard for Nursery Stock published by American Association of Nurserymen: April 14, 2014 Edition; by American National Standards Institute, Inc. (Z60.1) – plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 Cornell University
- 1.4 NOTIFICATION OF SOURCES AND SUBMITTALS
- A. Samples: Provide representative quantities of sandy loam soil mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.
- 1.5 JOB CONDITIONS
- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape 1.7 QUALITY ASSURANCE installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.
- **1.6 MAINTENANCE AND GUARANTEE**
- A. Maintenance:
- 1. The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
- Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
- 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee:

- 1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
- a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials. labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
- b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises 1.8 PRODUCT DELIVERY, STORAGE AND HANDLING immediately.
- c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.
- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- 3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- 4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.
- Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

С.

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- Selection of Plant Material: 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
- Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
- 3. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
- 4. Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,



AND NOTES

- A. TREE: TREES SHALL CONFORM WITH NURSERY STOCK. www.anla.org
- SOIL.
- C. ROOT BALL: REMOVE TOP $\frac{1}{3}$ BURLAP INSPECTED FOR GIRDLING ROOTS.
- D. ROOT FLARE: ENSURE THAT ROOT ROOT FLARE IS NOT APPARENT.
- RING.
- F. ROOT ANCHOR BY TREE STAKE SOLUTIONS.
- G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR MALLET FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH "U" BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).

do not measure from branch or root tip-to-tip.

- 5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
- 6. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
- 7. Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.
- A. Preparation:
- 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
- 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
- 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
- unless adequate storage and watering facilities are available on iob site.
- approved moisture retaining material if not planted within 24 hours of delivery.
- 4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
- 5. Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
- 6. Remove rejected plant material immediately from job site.
- 7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complimentary. 2.3 MISCELLANEOUS MATERIALS Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

- specified at no additional cost to the Owner.
- Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken **PART 3 - EXECUTION** root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, 3.1 BED PREPARATION & FERTILIZATION measured six (6") inches above ball. (Nomenclature confirms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.
- 2.2 SOIL PREPARATION MATERIALS
- A. Sandy Loam:
- 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
- 2. Physical properties as follows:
- b. Silt between 15-25 percent
- c. Sand less than 52 percent
- 3. Organic matter shall be 3%-10% of total dry weight.
- 4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of 3.2 INSTALLATION course and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients
- shredded pine bark or other approved organic material.
- Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 16' long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEDGE Heavy Duty Steel.
- B. Staking Material for Shade Trees: refer to details
- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
- available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
- E. River Rock: 'Colorado' or native river rock, 2" 4" dia.

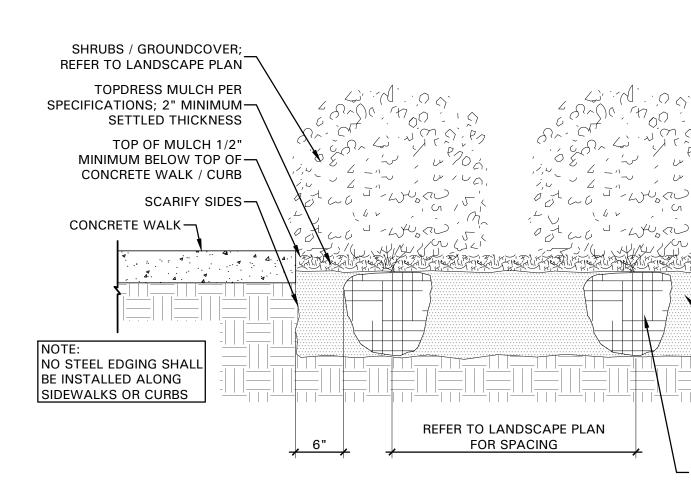
F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- 1. Prepare new planting beds by scraping away existing grass
- thousand (1,000) square feet.
- specified mulch.
- 3. Backfill for tree pits shall be as follows: Use existing top soil (9") inch layers and watered in thoroughly.
- C. Grass Areas:
- 1. Blocks of sod should be laid joint to joint (staggered joints)
- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per
- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter $(\frac{3}{4})$ inch in diameter. Plants should be thoroughly moist before removing 3.3 CLEANUP AND ACCEPTANCE containers
- height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed
- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another END OF SECTION

TREE PLANTING DETAIL LEGEND

- H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY LATEST AMERICAN STANDARD FOR B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE TREE STAKES: AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley FLARE IS EXPOSED, FREE FROM MULCH, (903) 676-6143 AND AT LEAST TWO INCHES ABOVE jeff@treestakesolutions.com GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR
- RING ON BASE OF ROOTBALL, TRUNK SHOULD BE IN THE CENTER OF THE
- TO ELIMINATE AIR POCKETS. MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2 INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE. TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL

 - www.treestakesolutions.com
 - OR APPROVED EQUAL. TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY; ABOVE GROUND STAKING IS EXPRESSLY PROHIBITED.
 - K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



02 SHRUB / GROUNDCOVER DETAIL NOT TO SCALE

- H. Peat: Commercial sphagnum peat moss or partially decomposed

- D. Filter Fabric: 'Mirafi Mirascape' by Mirafi Construction Products

- a. Clay between 7-27 percent
- B. Delivery:
- 2. Deliver only plant materials that can be planted in one day

3. Protect root balls by heeling in with sawdust or other

B. All planting areas shall be conditioned as follows:

and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one

2. All planting areas shall receive a two (2") inch layer of

on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine

after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

G. Dig a wide, rough sided hole exactly the same depth as the

location or have drainage added. Install a PVC stand pipe per

tree planting detail as approved by the Landscape Architect if the percolation test fails.

Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top $\frac{1}{3}$ of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of 'root scoring'.

J. Do not wrap trees.

- K. Do not over prune.
- Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
- P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.
- 1. Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
- 2. Pruning shall be done with clean, sharp tools.
- 3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.
- Q. Steel Curbing Installation:
- 1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
- 2. All steel curbing shall be free of kinks and abrupt bends.
- 3. Top of curbing shall be $\frac{1}{2}$ " maximum height above final finished grade.
- 4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
- 5. Do not install steel edging along sidewalks or curbs.
- 6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

3/16" X 4" BLACK EDGING, STAKES ON INSIDE; EDGING SHALL BE 1/2" MAXIMUM HEIGHT ABOVE FINISH GRADE -LAWN / FINISH GRADE POCKET PLANTING

NOT ALLOWED PREPARED SOIL MIX PER

SPECIFICATIONS; TILL 6" MINIMUM OF PREPARED SOIL MIX INTO 6" DEPTH OF EXISTING SOIL

-NATIVE SOIL ROOTBALL DO NOT DISTURB



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OMEGA DESIGN. LLC 811 S. CENTRAL EXPRESSWAY SUITE 306

RICHARDSON, TX 75080

IBPE FIRM NO. F-20145							
REVISIONS							
#	DATE	COMMENTS					
1	05.06.20	City Comments					
2	10.13.20	City Comments					
3	11.19.21	City Comments					
4	12.06.21	City Comments					
5	03.03.22	City Comments					
6	08.05.22	City Comments					
7	05.17.24	City Comments					
8	07.25.24	City Comments					
9	08.29.24	City Comments					
10	02.14.25	Owner Comments					

PROFESSIONAL SEAL



OWNER INFORMATION



PROJECT INFORMATION

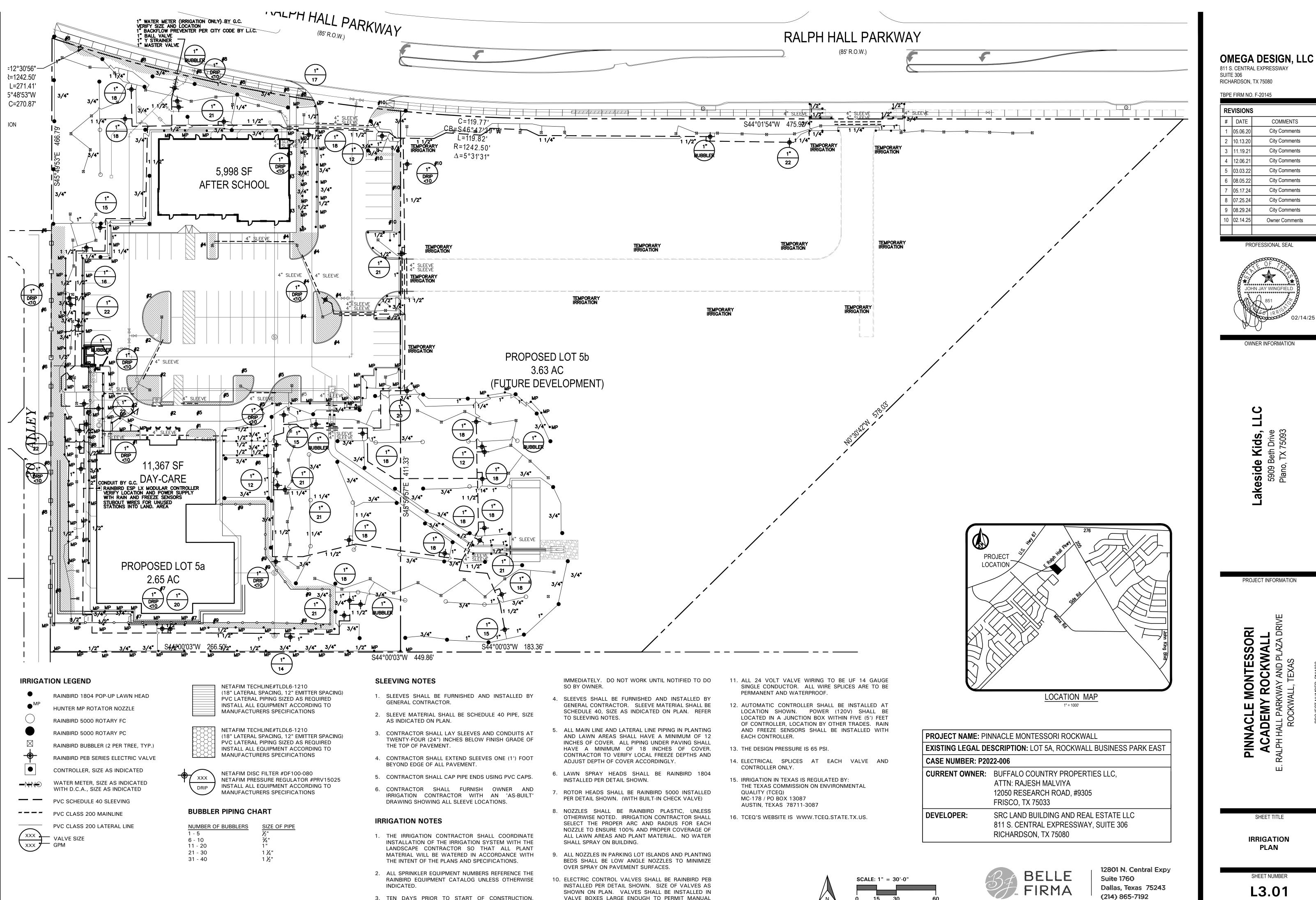


SHEET TITLE

LANDSCAPE **SPECIFICATIONS** AND DETAILS

SHEET NUMBER

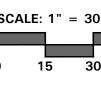
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- 3. TEN DAYS PRIOR TO START OF CONSTRUCTION, IRRIGATION CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE. IF STATIC PRESSURE IS LESS THAN 65 P.S.I., NOTIFY THE LANDSCAPE ARCHITECT

- SHOWN ON PLAN. VALVES SHALL BE INSTALLED IN VALVE BOXES LARGE ENOUGH TO PERMIT MANUAL OPERATION, REMOVAL OF SOLENOID AND / OR VALVE COVER WITHOUT ANY EARTH EXCAVATION.





SECTION 32 8423 - UNDERGROUND IRRIGATION SLEEVES AND UTILITY CONDUITS

PART 1 - GENERAL 1.1 DESCRIPTION

- A. Provide underground irrigation sleeves as indicated on the drawings.
- 1.2 RELATED WORK SPECIFIED ELSEWHERE
- A. Section 32 8424 Irrigation System 1.3 REFERENCED STANDARDS
- A. American Society for Testing and Materials:
- 1. ASTM D2441 Poly (Vinyl Chloride) (PVC) Plastic Pipe
- (SD R-PR)
- 2. ASTM D2466 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Socket Type, Schedule 40.
- 3. ASTM D2564 Solvent Cements for Poly Vinyl Chloride Plastic Pipe and Fittings.

PART 2 - MATERIALS

2.1 DEFINITIONS

- A. Sleeve A pipe within which another pipe is placed for carrying water or other utilities to be installed.
- B. Wire Sleeves A pipe used to carry low voltage irrigation wires for operation of the electric solenoid valves.

2.2 GENERAL

- A. Polyvinyl Chloride Pipe (PVC) Manufactured in accordance with standards noted herein:
- 1. Marking and Identification Permanently marked with SDR number, ASTM standard number, and the NSF (National Sanitation Foundation) seal.
- 2. Solvent As recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings before applying solvent.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Coverage Provide twenty-four inches (24") minimum cover over top of sleeve from finish grade.
- B. Sleeve Extensions Extend sleeves one foot (1') past edge of pavement or concrete walls. Install 90 degree elbow on each sleeve end and add additional length of same size pipe to extend above finish grade by twelve inches (12"). Cap pipe ends using duct tape.
- 3.2 BACKFILL
- A. Compaction Place backfill over sleeves in six (6") inch lifts. Tamp firmly into place taking care not to damage sleeve. Complete backfill and compaction to prevent any future settlement. Compact to 85% Standard Proctor.
- B. Damage Repair any damage resulting from improper compaction including pavement repair and replacement. END OF SECTION

SECTION 32 8424 - IRRIGATION SYSTEM

PART 1 - GENERAL

1.1 SCOPE

A. Provide complete sprinkler installation as detailed and specified herein, includes furnishing all labor, material, tools, equipment, and related items for the complete and proper installation of the irrigation system as indicated by the Drawings. All costs associated with this installation, including fees for testing and inspections of the system components are the responsibility of the installer of this irrigation system.

- B. Work includes but is not limited to:
- Trenching and backfill.
- Installation of automatic controlled system. 3. Upon completion of installation, supply as-built drawings showing details of construction including location of mainline piping, manual and automatic valves, electrical supply to valves, and specifically the exact location of automatic valves.
- C. All sleeves as shown on plans shall be furnished by General Contractor. Meter and power source shall be provided by General Contractor.

1.2 RELATED WORK SPECIFIED ELSEWHERE

locations. B. Section 32 8423 - Underground Irrigation Sleeves and Utility Conduits

A. Refer to Irrigation Plans for controller, head, and valve

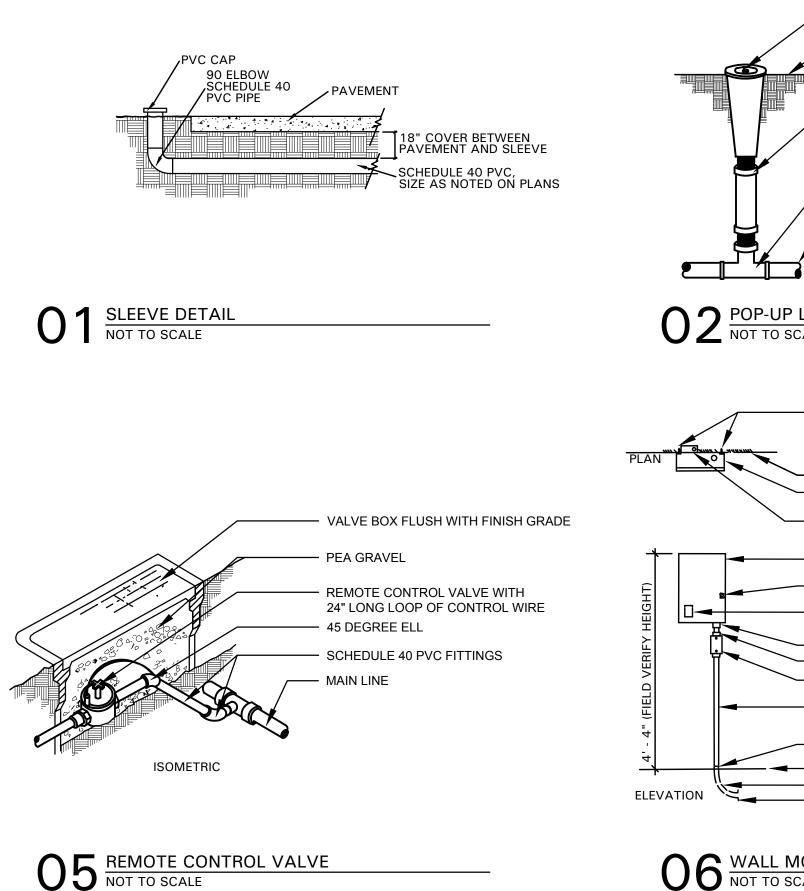
- C. Section 32 9300 Landscape
- D. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements
- 1.3 APPLICABLE STANDARDS
- A. America Standard for Testing and Materials (ASTM) Latest edition
- D2241 Poly (Vinyl Chloride) (PVC) Plastic Pipe (SDR-PR) 2. D2464 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings,
- Thread, Schedule 80 3. D2455 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings,
- Schedule 40 4. D2467 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings,
- Socket Type, Schedule 80 5. D2564 Solvent Cements for Poly (Vinyl Chloride) (PVC) Plastic Pipe and Fittings
- D2287 Flexible Poly Vinyl Chloride (PVC) Plastic Pipe
- F656 Poly Vinyl Chloride (PVC) Solvent Weld Primer 8. D2855 Making Solvent - Cemented Joints with Poly (Vinyl Chloride) (PVC) Pipe and Fittings

1.4 MAINTENANCE AND GUARANTEE

- A. The Contractor shall guarantee materials and workmanship for one (1) calendar year after final acceptance by Owner.
- B. Guarantee is limited to repair and replacement of defective materials or workmanship, including repair of backfill settlement.
- C. Provide maintenance of system, including raising and lowering of heads to compensate for lawn growth, cleaning and adjustment of heads, and raising and lowering of shrub heads to compensate for shrub growth for one (1) year after completion of installation.

1.5 SUBMITTALS

- A. Procedure: Comply with Division I requirements.
- B. Product Data: The Contractor shall submit five (5) copies of equipment manufacturer's 'cut sheets' and shop drawings for approval by Owner Authorized Representative prior to installation, including, but not limited to the following: sprinkler head, pipe, controller, valves, backflow prevention devices, valve boxes, wire, conduit, fittings, and all other types of fixtures proposed to be installed on the job. The submittal shall include the manufacturer's name, model number, equipment capacity, and manufacturer's installation recommendations, if applicable, for each proposed item.
- C. No work covered under this section may begin until the



Contractor has submitted the required information. No partial submittal shall be accepted and submittals shall be neatly bound into a brochure and logically organized. After the submittal has been approved, substitutions will not be allowed, except by written consent by the Owner Authorized Representative.

- D. Shop drawings include dimensions, elevations, construction details, arrangements, and capacity equipment, as well as manufacturer's installation recommendations.
- E. Operating and Maintenance Manuals:
- 1. Provide three (3) individually bound manuals detailing operating and maintenance requirements for the irrigation system
- 2. Manuals shall be delivered to the Owner Authorized Representative no later than ten (10) days prior to completion of the irrigation system. 3. Provide descriptions of all installed materials and systems
- in sufficient detail to permit maintenance personnel to understand, operate, and maintain the equipment. 4. Provide the following in each manual:
- a. Index sheet with Contractor's name, address, telephone number, and contact name. b. Duration of guarantee period. Include warranties and
- guarantees extended to the Owner by the manufacturer of all equipment. c. Equipment list providing the following for each item:
- 1) Manufacturer's name
- 2) Make and model number 3) Name and address of local part's representative
- 4) Spare parts list in detail 5) Details operating and maintenance instructions
- for major equipment.
- F. Project Record Documents:
- 1. Comply with Division I requirements. 2. Locate by written dimension, routing of mainline piping, remote control valves, and guick coupling valves. Locate mainlines by single dimensions from permanent site features provided they run parallel to these elements. Locate valves, intermediate electrical connections, and quick couplers by two dimensions from a permanent site feature at approximately 70 degrees to each other.
- 3. When dimensioning is complete, transpose work to bond 4. Submit three (3) copies of the completed as-built drawings, along with a CD with PDF files of the same. to
- the Owner Authorized Representative prior to final acceptance of the work. Mark drawings "Record Prints Showing Significant Changes". Date and sign drawings. G. Quick Coupler Keys: Provide three (3) coupler keys with
- boiler drains attached using brass reducer.
- H. Controller Keys: Provide three (3) sets of keys to controller enclosure(s).
- Use of materials differing in quality, size, or performance from those specified shall only be allowed upon written approval of the Landscape Architect. The decision shall be based on comparative ability of material or article to perform fully all purposes of mechanics and general design considered to be possessed by item specified.
- J. Bidders desiring to make a substitution for specified sprinklers shall submit manufacturer's catalog sheet showing full specification of each type sprinkler proposed as a substitute, including discharge in GPM maximum allowable operating pressure at sprinkler.
- K. Approval of substitute sprinkler shall not relieve Irrigation Contractor of his responsibility to demonstrate that final installed sprinkler system shall operate according to intent of originally designed and specified system.
- L. It is the responsibility of the Irrigation Contractor to demonstrate that final installed sprinkler system shall operate according to intent of originally designed and specified system. If Irrigation Contractor notes any problems in head spacing or potential coverage, it is his responsibility to notify the Landscape Architect in writing, before proceeding with
 - SPECIFIED SPRAY NOZZLE & BODY
- FINISH GRADE
 - 1/2" X 6" POLY NIPPLE

CLASS 200 PVC LATERAL LINE

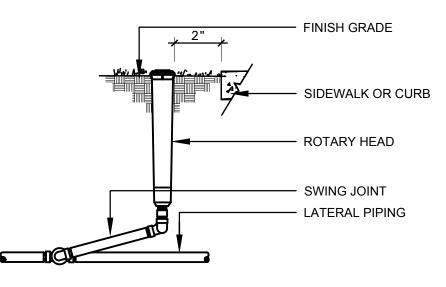
- S X S X T PVC SCHEDULE 40 OUTLET TEE OR ELBOW

02 POP-UP LAWN SPRAY ASSEMBLY NOT TO SCALE

- LAG BOLTS OR EXPANSION BOLTS AS REQUIRED
- WALL (EXTERIOR OR INTERIOR) - CONTROLLER HARD WIRE 117 VOLT A.C. BEHIND CONTROLLER IN FLUSH BOX CONTROLLER AS SPECIFIED **KEYED LOCK OR PADLOCK** HARD WIRE 117 VOLT A.C. POWER TO FLUSH OUTLET BEHIND CONTROLLER
- STEEL MALE CONNECTOR - 1 1/4" RIGID STEEL CONDUIT
- STEEL SPLICE BOX WITH FRONT ACCESS PANEL **RIGID STEEL CONDUIT (SAME SIZE AS**
- CONDUIT BELOW GRADE) CONDUIT SHALL BE PLUMB STEEL COUPLING (AS REQUIRED)
- - FINISH FLOOR - STEEL SWEEP ELL
- RIGID STEEL CONDUIT BELOW FLOOR OR GRADE
- 06 WALL MOUNTED CONTROLLER NOT TO SCALE

work. Irrigation Contractor guarantees 100% coverage of all areas to be irrigated.

- 1.6 TESTING
 - A. Perform testing required with other trades, including earthwork, paving, plumbing, electrical, etc., to avoid unnecessary cutting, patching, and boring.
 - B. Water Pressure: This irrigation system has been designed to operate with a minimum static water pressure indicated on Drawings. The Contractor shall take a pressure reading at each water meter prior to beginning construction. Confirm findings to Owner Authorized Representative in writing. If static pressure varies from pressure stated on drawings, do not start work until notified to do so by Owner Authorized Representative.
- 1.7 COORDINATION
- A. Coordinate installation with other trades, including earthwork, paving, and plumbing to avoid unnecessary cutting, patching and boring.
- B. Coordinate to ensure that electrical power source is in place.
- C. Coordinate system installation with work specified in other sections and coordinate with Landscape Contractor to ensure plant material is uniformly watered in accordance with intent shown on drawings.
- PART 2 PRODUCTS
- 2.1 GENERAL
 - A. Mainline: Mainlines are the piping from water source to operating valves. This portion of piping is subject to surges, being a closed portion of sprinkler system. Hydrant lines are considered a part of sprinkler main.
- B. Lateral Piping: Lateral piping is that portion of piping from operating valve to sprinkler heads. This portion of piping is not subject to surges, being an "open end" portion of sprinkler system.
- 2.2 POLY VINYL CHLORIDE PIPE (PVC PIPE)
- A. PVC pipe shall be manufactured in accordance with commercial standards noted herein.
- B. Marking and Identification: PVC pipe shall be continuously and permanently marked with the following information: manufacturer's name, pipe size, type of pipe, and material, SDR number, product standard number, and the NSF (National Sanitation Foundation) seal.
- C. PVC Pipe Fittings: Shall be of the same material as the PVC pipe specified and shall be compatible with PVC pipe furnished.
- 2.3 COPPER TUBING
- A. Hard, straight lengths of domestic manufacture only. Do not use copper tube of foreign extrusion or any so-called irrigation tubing (thin wall).
- 2.4 COPPER TUBE FITTINGS
- A. Cast brass or wrought copper, sweat solder type.
- 2.5 WIRE
- A. Type UF with 4/64" thick waterproof insulation which is Underwriter's Laboratory approved for direct underground burial when used in a National Electric Code Class II Circuit (30 volts AC or less).
- B. Wire Connectors: Waterproof splice kit connectors. Type DBY by 3M.
- 2.6 SCHEDULE 80 PVC NIPPLES
- A. Composed of Standard Schedule 40 PVC Fittings and PVC



J J NOT TO SCALE

meeting noted standards. No clamps or wires may be used. Nipples for heads and shrub risers to be nominal one-half inch $(\frac{1}{2})$ diameter by eight (8") inches long, where applicable.

- B. Polyethylene nipples six (6") inches long shall be used on all pop-up spray heads.
- 2.7 MATERIALS SEE IRRIGATION PLAN
- A. Sprinkler heads in lawn area as specified on plan.
- B. PVC Pipe: Class 200, SDR 21
- C. Copper Tubing (City Connection): Type "M"
 - D. 24V Wire: Size 14, Type UF
 - E. Electric valves: Shall be all plastic construction as indicated on plans.
 - F. Backflow Prevention Device: Refer to drawing requirements and flow valve. Coordinate exact location with General Contractor.

PART 3 - EXECUTION

- 3.1 INSTALLATION GENERAL
- A. Staking: Before installation is started, place a stake where each sprinkler is to be located, in accordance with drawing. Staking shall be approved by Owner Authorized Representative before proceeding with work.
- B. Excavations: Excavations are unclassified and include earth, loose rock, rock or any combination thereof, in wet or dry state. Backfill trenches with material removed, provided that the earth is suitable for compaction and contains no lumps, clods rock, debris, etc. Special backfill specifications, if furnished take preference over this general specification.
- C. Backfill: Flood or hand-tamp to prevent after settling. Hand rake trenches and adjoining area to leave grade in as good or better condition than before installation.
- D. Piping Layout: Piping layout is diagrammatic. Route piping around trees and shrubs in such a manner as to avoid damage to plantings. Do not dig within ball of newly planted trees or shrubs. In areas where existing trees are present, trenches shall be adjusted on-site to provide a minimum clearance of four (4) feet between the drip line of any tree or trench. The Contractor shall notify the Owner Authorized Representative in writing of a planned change in trench routing from that shown on the drawings.

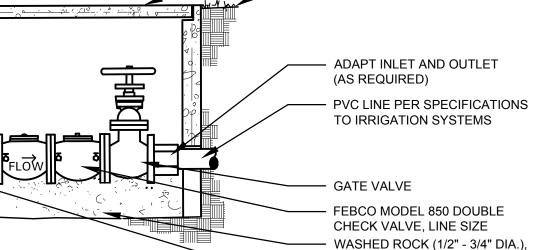
3.2 PIPE INSTALLATION

- A. Sprinkler Mains: Install a four (4") inch wide minimum trench with a minimum of eighteen (18") inches of cover.
- B. Lateral Piping: Install a four (4") inch wide minimum trench deep enough to allow for installation of sprinkler heads and valves, but in no case, with less than twelve (12") of cover.
- C. Trenching: Remove lumber, rubbish, and large rocks from trenches. Provide firm, uniform bearing for entire length of each pipe line to prevent uneven settlement. Wedging or blocking of pipe shall not be permitted. Remove foreign matter or dirt from inside of pipe before welding, and keep piping clean by approved means during and after laying of pipe
- 3.3 PVC PIPE AND FITTING ASSEMBLY
- A. Solvent: Use only solvent recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings of dirt, dust and moisture before applying solvent.
- B. PVC to metal connection: Work metal connections first. Use a non-hardening pipe dope such as Permatex No. 2 on threaded PVC adapters into which pipe may be welded.
- 3.4 COPPER TUBING AND FITTING ASSEMBLY

SIDEWALK OR CURB -

MAINLINE PIPING -





• GATE VALVE FEBCO MODEL 850 DOUBLE CHECK VALVE, LINE SIZE WASHED ROCK (1/2" - 3/4" DIA.),

· VALVE BOX AND LID

FINISH GRADE

PER CITY REQUIREMENT MAIN FROM SOURCE PER CITY REQUIREMENT

BACKFLOW PREVENTER NOT TO SCALE

ELEVATION

A. Clean pipe and fitting thoroughly and lightly sand pipe connections to remove residue from pipe. Attach fittings to tubing in an approved manner using 50-50 soft solid core solder

3.5 POP-UP SPRAY HEADS

A. Supply pop-up spray heads in accordance with materials list and plan. Attach sprinkler to lateral piping with a semi-flexible polyethylene nipple not less than three (3") inches or more than six (6") inches long.

3.6 VALVES

A. Supply valves in accordance with materials list and sized according to drawings. Install valves in a level position in accordance with manufacturer's specifications. See plan for typical installation of electric valve and valve box.

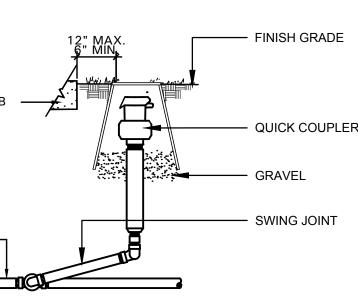
3.7 WIRING

- Supply wire from the automatic sprinkler controls to the valves. No conduit will be required for UF wire unless otherwise noted on the plan. Wire shall be tucked under the piping.
- B. A separate wire is required from the control to each electric valve. A common neutral wire is also required from each control to each of the valves served by each particular control.
- C. Bundle multiple wires and tape them together at ten (10') foot intervals. Install ten (10") inch expansion coils at not more than one hundred (100') foot intervals. Make splices waterproof.
- 3.8 AUTOMATIC SPRINKLER CONTROLS
- A. Supply in accordance with Irrigation Plan. Install according to manufacturer's recommendations.
- 3.9 TESTING
 - Sprinkler Mains: Test sprinkler main only for a period of twelve (12) to fourteen (14) hours under normal pressure. If leaks occur, replace joint or joints and repeat test.
- B. Complete tests prior to backfilling. Sufficient backfill material may be placed in trenches between fittings to ensure stability of line under pressure. In each case, leave fittings and couplings open to visual inspection for full period of test.

3.10 FINAL ADJUSTMENT

- A. After installation has been completed, make final adjustment of sprinkler system in preparation for Owner Authorized Representative's final inspection.
- B. Completely flush system to remove debris from lines by removing nozzle from heads on end of lines and turning on system.
- C. Check sprinklers for proper operation and proper alignment for direction of throw.
- D. Check each section of spray heads for operating pressure and balance to other sections by use of flow adjustment on top of each valve.
- E. Check nozzling for proper coverage. Prevailing wind conditions may indicate that arch of angle of spray should be other than shown on drawings. In this case, change nozzles to provide correct coverage and furnish data to Owner Authorized Representative with each change.
- 3.11 SYSTEM DEMONSTRATION
 - Instruct Owner's personnel in operation and maintenance of system including adjusting of sprinkler heads. Use operation and maintenance manual for basis of demonstration.

END OF SECTION



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SHEET TITLE

IRRIGATION SPECIFICATIONS AND DETAILS

SHEET NUMBER

L3.02

ISSUE DAT

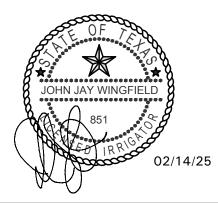


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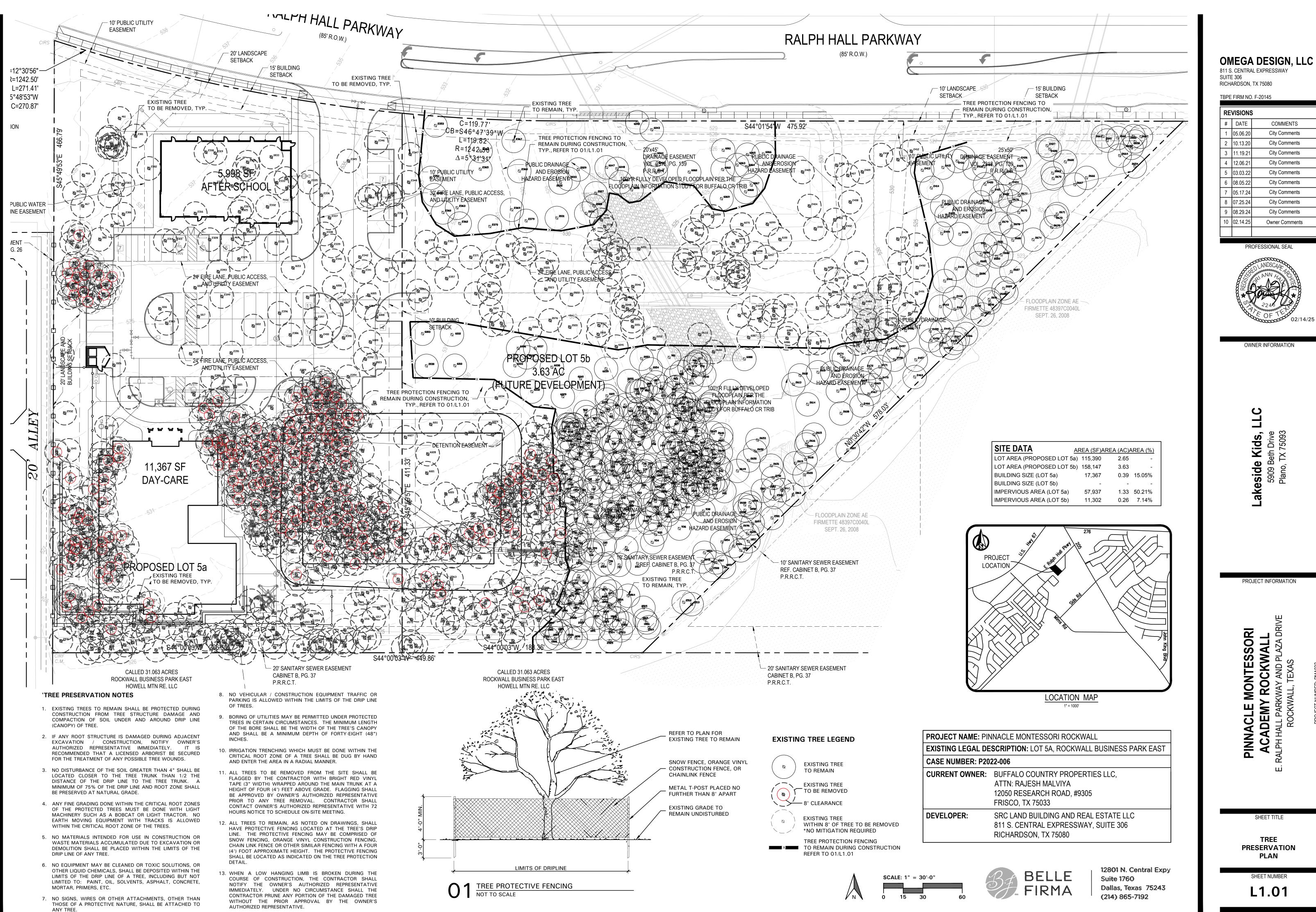








PROJECT INFORMATION



ISSUE DATE

No.	Species	Caliper (inches)	TREE SURVEY Protect	FIELD DATA Tree Health	Disease	Insect	Structural	Mitigation
-	(common nam 👻	or Height (ft. 🔻	or Remove 👻	(1-5) 👻	(Y/N) 👻	(Y/N) 👻	(Y/N) 👻	Required -
364 367	Cedar Cedar	11' Tall 22' Tall	TO BE REMOVED TO BE REMOVED	3	n n	n n	n	0 4
378	Cedar	23' Tall	TO BE REMOVED	4	n	n	n	4
382 461	Cedar Cedar	25'+ Tall 28' Tall	TO BE REMOVED	4	n	n	n	4
461	Cedar	25'+ Tall	TO BE REMOVED	3	n n	n n	n n	4
466	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
467 469	Cedar Cedar	25'+ Tall 22' Tall	TO BE REMOVED	4	n n	n n	n n	4 4
409	Cedar	16' Tall	TO BE REMOVED	3	n	n	n	4
471	Cedar	17' Tall	TO BE REMOVED	3	n	n	n	0
472 473	Cedar Cedar	25' Tall 10' Tall	TO BE REMOVED TO BE REMOVED	4	n n	n n	n	4
474	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
477	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
478 479	Cedar Cedar	21' Tall 24' Tall	TO BE REMOVED	4	n n	n n	n	4
482	Cedar	23' Tall	TO BE REMOVED	4	n	n	n	4
486	Cedar	10' Tall	TO BE REMOVED	3	n	n	n	0
487 489	Cedar Cedar	15' Tall 12' Tall	TO BE REMOVED	3	n n	n n	n n	0
490	Cedar	19' Tall	TO BE REMOVED	3	n	n	n	0
492 496	Cedar Cedar	21' Tall 24' Tall	TO BE REMOVED	4	n	n	n	4
490	Cedar	24 Tall 22' Tall	TO BE REMOVED	4	n n	n n	n	4
500	Cedar	20' Tall	TO BE REMOVED	4	n	n	n	4
701 702	Cedar Cedar	20' Tall 25'+ Tall	TO REMAIN TO REMAIN					
702	Cedar	25'+ Tall	TO REMAIN					
704	Cedar	13' Tall	TO REMAIN					
705 706	Cedar Cedar	25'+ Tall 14' Tall	TO REMAIN TO REMAIN					
707	Cedar	25'+ Tall	TO REMAIN					
708	Cedar	25'+ Tall	TO REMAIN					
709 710	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
711	Cedar	22' Tall	TO REMAIN					
712	Cedar	22' Tall	TO REMAIN					
713 714	Cedar Cedar	20' Tall 25'+ Tall	TO REMAIN TO REMAIN					
715	Cedar	25'+ Tall	TO REMAIN					
716 717	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
718	Cedar	25'+ Tall	TO REMAIN					
719	Cedar	25'+ Tall	TO REMAIN					
720 721	Cedar Cedar	23' Tall 12' Tall	TO REMAIN TO REMAIN					
722	Cedar	16' Tall	TO REMAIN					
723	Cedar	13' Tall	TO REMAIN					
724 725	Cedar Cedar	13' Tall 11' Tall	TO REMAIN TO REMAIN					
726	Cedar	23' Tall	TO REMAIN					
727	Cedar	23' Tall						4
728 729	Cedar Cedar	23' Tall 18' Tall	TO BE REMOVED					4 4
731	Cedar	12' Tall	TO BE REMOVED					4
732 733	Cedar Cedar	19' Tall 22' Tall	TO BE REMOVED					4
734	Cedar	25'+ Tall	TO BE REMOVED					4
735	Cedar	23' Tall	TO BE REMOVED					4
736 737	Cedar Cedar	16' Tall 25'+ Tall	TO BE REMOVED TO REMAIN					4
738	Cedar	21' Tall	TO REMAIN					
739	Cedar	25'+ Tall	TO REMAIN					
740 741	Cedar Cedar	22' Tall 25'+ Tall	TO REMAIN TO REMAIN					
741	Cedar	25'+ Tall	TO REMAIN					
743	Cedar	25'+ Tall	TO REMAIN					
744 745	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
746	Cedar	25'+ Tall	TO REMAIN					
747 748	Cedar	25'+ Tall	TO REMAIN TO REMAIN					
748	Cedar Cedar	20' Tall 25'+ Tall	TO REMAIN					
750	Cedar	23' Tall	TO REMAIN					
751 752	Cedar Cedar	23' Tall 25'+ Tall	TO REMAIN TO REMAIN					
752	Cedar	25'+ Tall	TO REMAIN					
754	Cedar	16' Tall	TO REMAIN					
755 756	Cedar Cedar	23' Tall 20' Tall	TO REMAIN TO REMAIN					
757	Cedar	25'+ Tall	TO REMAIN					
758	Cedar	25'+ Tall	TO REMAIN					
759 760	Cedar Cedar	18' Tall 18' Tall	TO REMAIN TO REMAIN					
761	Cedar	16' Tall	TO REMAIN					
762	Cedar	20' Tall	TO BE REMOVED					4
763 764	Cedar Cedar	20' Tall 25'+ Tall	TO BE REMOVED					4
765	Cedar	17' Tall	TO REMAIN					<u> </u>
766 767	Cedar Cedar	15' Tall 12' Tall	TO REMAIN TO REMAIN					
767	Cedar	12' Tall 16' Tall	TO REMAIN					
769	Cedar	16' Tall	TO REMAIN					
770 771	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
772	Cedar	25+ Tall 25'+ Tall	TO REMAIN					
773	Cedar	25'+ Tall	TO REMAIN					
774 775	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
776	Cedar	23' Tall	TO REMAIN					
777	Cedar	25'+ Tall	TO REMAIN					
778 779	Cedar Cedar	23' Tall 22' Tall	TO REMAIN TO REMAIN					
780	Cedar	24' Tall	TO REMAIN					
781	Cedar	25'+ Tall	TO REMAIN					
782 783	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
784	Cedar	25'+ Tall	TO REMAIN					
785	Cedar	25'+ Tall	TO REMAIN					

No.	Species	Caliper (inches)		Tree Health		Insect	Structural	Mitigation	
786	(common name) Cedar	or Height (ft.) 20' Tall	or Remove TO REMAIN	(1-5)	(Y/N)	(Y/N)	(Y/N)	Required	
787	Cedar	22' Tall	TO REMAIN						
788	Cedar	22' Tall	TO REMAIN						
789 790	Cedar Cedar	23' Tall 25'+ Tall	TO REMAIN TO REMAIN						
791	Cedar	25'+ Tall	TO REMAIN						
792	Cedar	25'+ Tall 23' Tall	TO REMAIN						
793 794	Cedar Cedar	13' Tall	TO REMAIN TO REMAIN						
795	Cedar	13' Tall	TO REMAIN						
796	Cedar	25'+ Tall	TO REMAIN						
797 798	Cedar Cedar	20' Tall 25'+ Tall	TO REMAIN TO REMAIN						
799	Cedar	25'+ Tall	TO REMAIN						
800 921	Cedar Cedar	25'+ Tall 20' Tall	TO REMAIN TO REMAIN						
921	Cedar	25'+ Tall	TO REMAIN						
923	Cedar	25'+ Tall	TO REMAIN						
924 925	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN						
926	Cedar	25'+ Tall	TO REMAIN						
927	Cedar	25'+ Tall	TO REMAIN						
928 929	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN						
930	Cedar	25'+ Tall	TO REMAIN						
931	Cedar	25'+ Tall	TO REMAIN						
932 933	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN						
933 934	Cedar	10' Tall	TO REMAIN						
935	Cedar	25'+ Tall	TO REMAIN						
936 937	Cedar	15' Tall	TO REMAIN						
937 938	Cedar Cedar	14' Tall 8' Tall	TO REMAIN TO REMAIN						
939	Cedar	18' Tall	TO REMAIN						
940 941	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN						
941	Cedar	20' Tall	TO REMAIN						
943	Cedar	25'+ Tall	TO REMAIN						
944 945	Cedar Cedar	25'+ Tall 12' Tall	TO REMAIN TO REMAIN						
945 946	Cedar	12 Tall 18' Tall	TO REMAIN						
947	Cedar	24' Tall	TO REMAIN						
948 949	Cedar Cedar	23' Tall 25'+ Tall	TO REMAIN TO REMAIN						
949 950	Cedar	25'+ Tall	TO REMAIN						
951	Cedar	25'+ Tall							
952 953	Cedar Cedar	20' Tall 15' Tall	TO REMAIN TO REMAIN						
954	Cedar	17' Tall	TO REMAIN						
955 056	Cedar	22' Tall	TO REMAIN						
956 957	Cedar Cedar	15' Tall 20' Tall	TO REMAIN TO REMAIN						
958	Cedar	20' Tall	TO REMAIN						
959 960	Cedar	15' Tall	TO REMAIN						
960 961	Cedar Cedar	18' Tall 25'+ Tall	TO REMAIN TO REMAIN						
962	Cedar	20' Tall	TO REMAIN						
963 964	Cedar Cedar	25'+ Tall 20' Tall	TO REMAIN TO REMAIN				_		
964 965	Cedar	20' Tall 20' Tall	TO REMAIN						
966	Cedar	25'+ Tall	TO REMAIN						
967 968	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN						
969 969	Cedar	25+ Tall 25'+ Tall	TO REMAIN						
970	Cedar	25'+ Tall							
971 972	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN						
973	Cedar	25'+ Tall	TO REMAIN						
974	Cedar	25'+ Tall	TO REMAIN						
975 976	Cedar Cedar	25'+ Tall 15' Tall	TO REMAIN TO REMAIN						
977	Cedar	15' Tall	TO REMAIN						
978	Cedar	25'+ Tall	TO REMAIN						
979 980	Cedar Cedar	8' Tall 8' Tall	TO REMAIN TO REMAIN						
981	Cedar	20' Tall	TO REMAIN						
982	Cedar	15' Tall							
983 984	Cedar Cedar	15' Tall 25'+ Tall	TO REMAIN TO REMAIN						
985	Cedar	25'+ Tall	TO REMAIN						
986 987	Cedar	25'+ Tall							
987 988	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN						
989	Cedar	25'+ Tall	TO REMAIN						
990 991	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN						
991 992	Cedar	25'+ Tall 25'+ Tall	TO REMAIN						
993	Cedar	25'+ Tall	TO REMAIN						
994 1001	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n	n	n	4	
1001	Cedar	20+ Tall 20' Tall	TO BE REMOVED	3	n	n	n	4 0	
1007	Cedar	14' Tall	TO BE REMOVED	3	n	n	n	0	
1009 1012	Cedar Cedar	17' Tall 17' Tall	TO BE REMOVED	3	n n	n	n	0	
1012	Cedar	17 Tall 18' Tall	TO BE REMOVED	3	n n	n n	n n	0	
1015	Cedar	12' Tall	TO BE REMOVED	3	n	n	n	0	
1016 1017	Cedar Cedar	18' Tall 21' Tall	TO BE REMOVED	4	n	n	n n	4 4	
1017 1018	Cedar	19' Tall	TO BE REMOVED	4	n n	n n	n n	4	
1019	Cedar	17' Tall	TO BE REMOVED	4	n	n	n	4	
1020 1021	Cedar Cedar	17' Tall 16' Tall	TO BE REMOVED	4	n	n	n	4	
1021 1022	Cedar	16' Tall 17' Tall	TO BE REMOVED	4	n n	n n	n n	4 4	
1023	Cedar	20' Tall	TO BE REMOVED	4	n	n	n	4	
1024 1025	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED TO REMAIN					4	
1025	Cedar	25'+ Tall 21' Tall	TO BE REMOVED	4	n	n	n	4	
	Cedar	12' Tall	TO BE REMOVED	3	n	n	n	0	
1027 1028	Cedar	14' Tall	TO BE REMOVED	3	n	n	n	0	

No.	Species
1031	(common name) Cedar
1032	Cedar
1033	Cedar
1037	Cedar
1040	Cedar
1042	Cedar
1043	Cedar
1045	Cedar
1046	Cedar
1048	Cedar
1050	Cedar
1051	Cedar
1054	Cedar
1056	Cedar
1057	Cedar
1058	Cedar
1059	Cedar
1062	Cedar
1064	Cedar
1065	Cedar
1067	Cedar
1068	Cedar
1070	Cedar
1074	Cedar
1075	Cedar
1076	Cedar
1077	Cedar
1078	Cedar
1079	Cedar
1083	Cedar
1089	Cedar
1090	Cedar
1091	Cedar
1092	Cedar
1094	Cedar
1095	Cedar
1097	Cedar
1098	Cedar
1099	Cedar
1101	Cedar
1102	Cedar
1103	Cedar
1105	Cedar
1109 1110	Cedar
1110	Cedar Cedar
1113	Cedar
1118	Cedar
1121	Cedar
1122	Cedar
1123	Cedar
1125	Cedar
1126	Cedar
1129	Cedar
1134	Cedar
1140	Cedar
1142	Cedar
1143	Cedar
1145	Cedar
1146	Cedar
1148	Cedar
1149	Cedar
1150	Cedar
1151	Cedar
1155	Cedar
1156	Cedar
1157	Cedar
1159	Cedar
1161	Cedar
1162	Cedar
1163	Cedar
1164	Cedar
1165	Cedar
1167	Cedar
1168	Cedar
1169	Cedar
1170	Cedar
1171	Cedar
1172	Cedar
1173	Cedar
1174	Cedar
1175	Cedar
1176	Cedar
1177	Cedar
1178	Cedar
1179	Cedar
1180	Cedar
1181	Cedar
1182	Cedar
1183	Cedar
1184	Cedar
1185	Cedar
1186	Cedar
1187	Cedar
1188	Cedar
1189	Cedar
1190	Cedar
1191	Cedar
1192	Cedar
1193	Cedar
1194	Cedar
1195	Cedar
1196	Cedar
1197	Cedar
1198	Cedar
1199	Cedar
1200	Cedar
1201	Cedar
1202	Cedar
1202	Cedar

cies	Caliper (inches)	Protect	FIELD DATA Tree Health	Disease	Insect	Structural	Mitigation
n name)	or Height (ft.)		(1-5)	(Y/N)	(Y/N)	(Y/N)	Required
dar dar	14' Tall 14' Tall	TO BE REMOVED	3	n n	n n	n n	0
dar	20' Tall	TO BE REMOVED	4	n	n	n	4
dar dar	12' Tall	TO BE REMOVED	3	n	n	n	0
dar dar	9' Tall 25'+ Tall	TO BE REMOVED	3	n	n n	n	0 4
dar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
dar dar	25'+ Tall 13' Tall	TO BE REMOVED	4	n	n	n	4
dar dar	13' Tall 15' Tall	TO BE REMOVED	3	n n	n n	n n	0
dar	23' Tall	TO BE REMOVED	4	n	n	n	4
dar dar	23' Tall 19' Tall	TO BE REMOVED	4	n	n	n	4
dar	16' Tall	TO BE REMOVED	3	n n	n n	n n	0
dar	19' Tall	TO BE REMOVED	3	n	n	n	0
dar	24' Tall 18' Tall	TO BE REMOVED	4	n	n	n	4
dar dar	18 Tall 12' Tall	TO BE REMOVED	3	n n	n n	n	0
dar	23' Tall	TO BE REMOVED	3	n	n	n	0
lar	9' Tall	TO BE REMOVED	3	n	n	n	0
lar lar	13' Tall 13' Tall	TO BE REMOVED	3	n n	n n	n	0
lar	18' Tall	TO BE REMOVED	3	n	n	n	0
lar	21' Tall	TO BE REMOVED	3	n	n	n	0
lar lar	25'+ Tall 21' Tall	TO BE REMOVED	4 3	n n	n n	n n	4
lar	21' Tall	TO BE REMOVED	3	n	n	n	0
lar	25' Tall	TO BE REMOVED	3	n	n	n	0
lar lar	25' Tall 21' Tall	TO BE REMOVED	3	n	n	n	0
lar lar	12' Tall	TO BE REMOVED	3	n n	n n	n n	0
lar	11' Tall	TO BE REMOVED		n	n	n	0
lar Iar	25'+ Tall	TO BE REMOVED		n	n	n	4
lar lar	18' Tall 9' Tall	TO BE REMOVED		n n	n n	n	0
lar	24' Tall	TO BE REMOVED	3	n	n	n	0
lar	25'+ Tall	TO BE REMOVED	3	n	n	n	0
lar Iar	25'+ Tall 21' Tall	TO BE REMOVED	4 3	n n	n n	n n	4
lar	18' Tall	TO BE REMOVED	3	n	n	n	0
lar	22' Tall	TO BE REMOVED	3	n	n	n	0
lar Iar	25'+ Tall 20' Tall	TO BE REMOVED	4	n	n	n	4
lar lar	13' Tall	TO BE REMOVED	4	n n	n n	n n	4
lar	21' Tall	TO BE REMOVED	4	n	n	n	4
lar Iar	14' Tall 19' Tall	TO BE REMOVED TO BE REMOVED	3	n	n	n	0
ar ar	25' Tall	TO BE REMOVED		n n	n n	n	4
ar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
lar Iar	25' Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED		n	n	n	4 0
ar ar	25'+ Tall 24' Tall	TO BE REMOVED		n n	n n	n	4
ar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
ar	24' Tall	TO BE REMOVED	4	n	n	n	4
lar Iar	20' Tall 24' Tall	TO BE REMOVED	3	n n	n n	n n	0
lar	25'+ Tall	TO BE REMOVED	3	n	n	n	0
ar	25'+ Tall	TO BE REMOVED	3	n	n	n	0
lar Iar	25'+ Tall 8' Tall	TO BE REMOVED	4 3	n n	n n	n n	4
lar	25'+ Tall	TO BE REMOVED	3	n	n	n	0
lar	10' Tall	TO BE REMOVED	3	n	n	n	0
lar Iar	25'+ Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED	4	n n	n n	n n	4
lar	22' Tall	TO BE REMOVED		n	n	n	0
lar	25'+ Tall	TO BE REMOVED	3	n	n	n	0
ar ar	24' Tall 25'+ Tall	TO BE REMOVED	4	n	n	n	4
lar lar	25'+ Tall	TO BE REMOVED		n n	n n	n n	4
lar	25'+ Tall	TO BE REMOVED	3	n	n	n	0
lar Iar	21' Tall 25'+ Tall	TO BE REMOVED	3	n	n	n	0
ar ar	25'+ Tall 25'+ Tall	TO BE REMOVED		n n	n n	n	4
ar	24' Tall	TO BE REMOVED	3	n	n	n	0
ar	24' Tall	TO BE REMOVED		n	n	n	0
ar ar	25'+ Tall 25' Tall	TO BE REMOVED		n n	n n	n	4
ar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
ar	25'+ Tall	TO BE REMOVED	3	n	n	n	0
ar ar	25'+ Tall 25'+ Tall	TO BE REMOVED	3	n n	n n	n n	0
ar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
ar	11' Tall	TO BE REMOVED	3	n	n	n	0
lar Iar	23' Tall 21' Tall	TO BE REMOVED	4 3	n n	n n	n n	4
ar ar	14' Tall	TO BE REMOVED		n	n n	n	0
ar	16' Tall	TO BE REMOVED	3	n	n	n	0
ar ar	16' Tall 25'+ Tall	TO BE REMOVED	3	n	n	n	0
ar ar	15' Tall	TO BE REMOVED	100	n n	n n	n n	0
ar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
ar	20' Tall	TO BE REMOVED		n	n	n	0
ar ar	25'+ Tall 25'+ Tall	TO BE REMOVED		n n	n n	n	4
ar	15' Tall	TO BE REMOVED	3	n	n	n	0
ar	25'+ Tall	TO BE REMOVED	3	n	n	n	0
lar Iar	17' Tall 19' Tall	TO BE REMOVED	3	n n	n n	n n	0
ar ar	15' Tall	TO BE REMOVED	3	n	n	n	0
ar	14' Tall	TO BE REMOVED	3	n	n	n	0
lar Iar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n	n	n	4
lar Iar	15' Tall	TO BE REMOVED		n n	n n	n n	4
lar	10' Tall	TO BE REMOVED	3	n	n	n	0
lar	25'+ Tall	TO BE REMOVED	3	n	n	n	0
lar Iar	25'+ Tall 25'+ Tall	TO BE REMOVED		n n	n n	n n	4
lar lar	12' Tall	TO BE REMOVED	3	n	n n	n	4
lar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
dar	17' Tall	TO BE REMOVED	3	n	n	n	0



12801 N. Central Expy Suite 1760 Dallas, Texas 75243 (214) 865-7192

OMEGA DESIGN, LLC 811 S. CENTRAL EXPRESSWAY SUITE 306 RICHARDSON, TX 75080

TBPE	TBPE FIRM NO. F-20145									
RE	REVISIONS									
#	DATE	COMMENTS								
1	05.06.20	City Comments								
2	10.13.20	City Comments								
3	11.19.21	City Comments								
4	12.06.21	City Comments								
5	03.03.22	City Comments								
6	08.05.22	City Comments								
7	05.17.24	City Comments								
8	07.25.24	City Comments								
9	08.29.24	City Comments								
10	02.14.25	Owner Comments								



OWNER INFORMATION

LLC Lakeside Kids, I 5909 Beth Drive Plano, TX 75093

PROJECT INFORMATION

PINNACLE MONTESSORI ACADEMY ROCKWALL E. RALPH HALL PARKWAY AND PLAZA DRIVE ROCKWALL, TEXAS

SHEET TITLE

TREE PRESERVATION NOTES

SHEET NUMBER

L1.02

ISSUE DATE:

No.	Species	Caliper (inches)		Tree Health	Disease	Insect	Structural	Mitigatio
1204	(common name) Cedar	or Height (ft.) 13' Tall	or Remove	(1-5) 3	(Y/N)	(Y/N)	(Y/N)	Require 0
1204	Cedar	16' Tall	TO BE REMOVED	3	n n	n n	n n	0
1206	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
1207 1209	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	3	n n	n n	n	0
1210	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
1211	Cedar	12' Tall	TO BE REMOVED	3	n	n	n	0
1212 1213	Cedar Cedar	17' Tall 25'+ Tall	TO BE REMOVED	3	n n	n n	n	0
<mark>1214</mark>	Cedar	22' Tall	TO BE REMOVED	3	n	n	n	0
1215 1216	Cedar Cedar	15' Tall 25'+ Tall	TO BE REMOVED	3	n	n	n	0
1216	Cedar	25+ Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
1218	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
1219 1220	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	3 4	n n	n n	n n	0
1220	Cedar	22' Tall	TO BE REMOVED	4	n	n	n	4
1226	Cedar	25' Tall	TO BE REMOVED	3	n	n	n	0
1228 1229	Cedar Cedar	25' Tall 21' Tall	TO BE REMOVED	3	n n	n n	n	0
1231	Cedar	19' Tall	TO BE REMOVED	3	n	n	n	0
1232 1233	Cedar Cedar	15' Tall 15' Tall	TO BE REMOVED	3	n	n	n	0
1235	Cedar	23' Tall	TO BE REMOVED	3	n n	n n	n n	0
1238	Cedar	21' Tall	TO BE REMOVED	3	n	n	n	0
1239 1240	Cedar Cedar	21' Tall 23' Tall	TO BE REMOVED	3	n	n	n	0
1240	Cedar	23 Tall 22' Tall	TO BE REMOVED	3	n n	n n	n n	0
1243	Cedar	22' Tall	TO BE REMOVED	4	n	n	n	4
1244 1245	Cedar Cedar	22' Tall 22' Tall	TO BE REMOVED	3	n n	n n	n n	0
1245	Cedar	15' Tall	TO BE REMOVED	3	n	n	n	0
1248	Cedar	23' Tall	TO BE REMOVED	4	n	n	n	4
1250 1251	Cedar Cedar	24' Tall 23' Tall	TO BE REMOVED	3 4	n n	n n	n n	0 4
1252	Cedar	25'+ Tall	TO BE REMOVED	3	n	n	n	0
1253	Cedar	15' Tall	TO BE REMOVED	3 3	n	n	n	0
1255 1257	Cedar Cedar	24' Tall 24' Tall	TO BE REMOVED	3	n n	n n	n	0
1258	Cedar	24' Tall	TO BE REMOVED	3	n	n	n	0
1260 1261	Cedar Cedar	15' Tall 14' Tall	TO BE REMOVED	3	n	n	n	0
1261	Cedar	25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
1264	Cedar	22' Tall	TO BE REMOVED	3	n	n	n	0
1266 1269	Cedar Cedar	12' Tall 13' Tall	TO BE REMOVED	3	n n	n n	n n	0
1209	Cedar	21' Tall	TO BE REMOVED	3	n	n	n	0
1271	Cedar	24' Tall	TO BE REMOVED	3	n	n	n	0
1273 1274	Cedar Cedar	25'+ Tall 20' Tall	TO BE REMOVED	4	n n	n n	n	4
1275	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
1280	Cedar	22' Tall	TO BE REMOVED	3	n	n	n	0
1281 1284	Cedar Cedar	19' Tall 21' Tall	TO BE REMOVED	3	n n	n n	n	0
1287	Cedar	20' Tall	TO BE REMOVED	3	n	n	n	0
1288	Cedar	15' Tall	TO BE REMOVED	3	n	n	n	0
1289 1291	Cedar Cedar	25' Tall 15' Tall	TO BE REMOVED	3	n n	n	n n	0
1292	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
1293 1295	Cedar Cedar	11' Tall 15' Tall	TO BE REMOVED	3	n	n	n	0
1295	Cedar	15' Tall	TO BE REMOVED	3	n n	n n	n n	0
1297	Cedar	25'+ Tall	TO BE REMOVED	3	n	n	n	0
1299 1301	Cedar Cedar	16' Tall 16' Tall	TO BE REMOVED	3	n n	n	n n	0
1302	Cedar	16' Tall	TO BE REMOVED	3	n	n	n	0
1303	Cedar	11' Tall	TO BE REMOVED	3	n	n	n	0
1304 1305	Cedar Cedar	11' Tall 18' Tall	TO BE REMOVED	3	n n	n n	n	0
1306	Cedar	17' Tall	TO BE REMOVED	3	n	n	n	0
1308	Cedar	20' Tall	TO BE REMOVED	3	n	n	n	0
1313 1314	Cedar Cedar	22' Tall 22' Tall	TO BE REMOVED	3	n n	n n	n n	0
1315	Cedar	25' Tall	TO BE REMOVED	3	n	n	n	0
1318 1319	Cedar Cedar	16' Tall 20' Tall	TO BE REMOVED	3 3	n	n	n	0
1319	Cedar	12' Tall	TO BE REMOVED	3	n n	n n	n n	0
1322	Cedar	22' Tall	TO BE REMOVED	3	n	n	n	0
1324 1325	Cedar Cedar	12' Tall 20' Tall	TO BE REMOVED	3	n n	n n	n n	0
1325	Cedar	20 Tall 24' Tall	TO BE REMOVED	4	n	n	n	4
1327	Cedar	19' Tall	TO BE REMOVED	3	n	n	n	0
1329 1331	Cedar Cedar	25' Tall 10' Tall	TO BE REMOVED	3	n n	n n	n n	0
1334	Cedar	18' Tall	TO BE REMOVED	3	n	n	n	0
1335	Cedar	25'+ Tall	TO BE REMOVED	3	n	n	n	0
1336 1341	Cedar Cedar	24' Tall 20' Tall	TO BE REMOVED	4 3	n n	n n	n n	4
1342	Cedar	18' Tall	TO BE REMOVED	3	n	n	n	0
1345 1348	Cedar Cedar	23' Tall 12' Tall	TO BE REMOVED	4	n	n	n	4
1348 1350	Cedar	12' Tall 9' Tall	TO BE REMOVED	3	n n	n n	n	0
1351	Cedar	8' Tall	TO BE REMOVED	3	n	n	n	0
1352 1354	Cedar Cedar	21' Tall 16' Tall	TO BE REMOVED	3	n n	n n	n n	0
1354 1355	Cedar	8' Tall	TO BE REMOVED	3	n	n	n	0
1358	Cedar	23' Tall	TO BE REMOVED	4	n	n	n	4
1361 1364	Cedar Cedar	22' Tall 11' Tall	TO BE REMOVED	3	n n	n n	n n	0
1365	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
1369	Cedar	20' Tall	TO BE REMOVED	3	n	n	n	0
1370 1374	Cedar Cedar	15' Tall 17' Tall	TO BE REMOVED TO BE REMOVED	3 4	n n	n n	n n	0
1374	Cedar	17' Tall	TO BE REMOVED	3	n	n	n	0
1378	Cedar	16' Tall	TO BE REMOVED	3	n	n	n	0
1381 1383	Cedar Cedar	25' Tall 19' Tall	TO BE REMOVED	4 3	n n	n n	n n	4
1384	Cedar	14' Tall	TO BE REMOVED	3	n	n	n	0
1387	Cedar	13' Tall	TO BE REMOVED	3	n	n	n	0
1390	Cedar	15' Tall	TO BE REMOVED	3	n	n	n	0

Mitigation

No.	Species	Caliper (inches)	Protect	Tree Health		Insect	Structural	Mitigatio
1391	(common name) Cedar	or Height (ft.) 21' Tall	or Remove	(1-5) 4	(Y/N) n	(Y/N) n	(Y/N)	Require 4
1392	Cedar	20' Tall	TO BE REMOVED	3	n	n	n	0
1394	Cedar	13' Tall	TO BE REMOVED	3	n	n	n	0
1395 1396	Cedar Cedar	13' Tall 20' Tall	TO BE REMOVED TO BE REMOVED	3	n	n	n	0
1402	Cedar	18' Tall	TO BE REMOVED	4	n n	n	n	4
1404	Cedar	14' Tall	TO BE REMOVED	3	n	n	n	0
1406	Cedar	14' Tall	TO BE REMOVED	3	n	n	n	0
1408 1410	Cedar Cedar	15' Tall 21' Tall	TO BE REMOVED	3	n n	n n	n	0
1410	Cedar	23' Tall	TO BE REMOVED	4	n	n	n	4
1415	Cedar	16' Tall	TO BE REMOVED	3	n	n	n	0
1416	Cedar	25' Tall	TO BE REMOVED	4	n	n	n	4
1418 1420	Cedar Cedar	16' Tall 14' Tall	TO BE REMOVED TO BE REMOVED	3	n n	n n	n	0
1423	Cedar	16' Tall	TO BE REMOVED	4	n	n	n	4
1425	Cedar	13' Tall	TO BE REMOVED	3	n	n	n	0
1427	Cedar	17' Tall	TO BE REMOVED	3	n	n	n	0
1428 1431	Cedar Cedar	14' Tall 16' Tall	TO BE REMOVED	3	n n	n n	n	0
1434	Cedar	9' Tall	TO BE REMOVED	3	n	n	n	0
1435	Cedar	8' Tall	TO BE REMOVED	3	n	n	n	0
1437 1438	Cedar Cedar	9' Tall 18' Tall	TO BE REMOVED	3	n	n	n	0
1430	Cedar	19' Tall	TO BE REMOVED	3	n n	n n	n	0
1443	Cedar	17' Tall	TO BE REMOVED	4	n	n	n	4
1444	Cedar	8' Tall	TO BE REMOVED	3	n	n	n	0
1446	Cedar	18' Tall	TO BE REMOVED	3	n	n	n	0
1449 1450	Cedar Cedar	18' Tall 18' Tall	TO BE REMOVED	4	n n	n n	n	4
1452	Cedar	18' Tall	TO BE REMOVED	3	n	n	n	0
1456	Cedar	21' Tall	TO BE REMOVED	4	n	n	n	4
1462	Cedar	17' Tall	TO BE REMOVED	3	n	n	n	0
1464 1466	Cedar Cedar	13' Tall 11' Tall	TO BE REMOVED	3	n n	n n	n	0
1471	Cedar	9' Tall	TO BE REMOVED	3	n	n	n	0
1473	Cedar	20' Tall	TO BE REMOVED	4	n	n	n	4
1474	Cedar	19' Tall	TO BE REMOVED	4	n	n	n	4
1475 1481	Cedar Cedar	13' Tall 18' Tall	TO BE REMOVED	3	n n	n n	n	0
1482	Cedar	13' Tall	TO BE REMOVED	3	n	n	n	0
1485	Cedar	25' Tall	TO BE REMOVED	4	n	n	n	4
1487 1489	Cedar Cedar	17' Tall 12' Tall	TO BE REMOVED	4 3	n	n	n	4
1489 1490	Cedar Cedar	12' Tall 12' Tall	TO BE REMOVED	3	n n	n n	n	0
1492	Cedar	19' Tall	TO BE REMOVED	4	n	n	n	4
1494	Cedar	8' Tall	TO BE REMOVED	3	n	n	n	0
1497 1500	Cedar Cedar	9' Tall 14' Tall	TO BE REMOVED TO BE REMOVED	3	n	n	n	0
1500	Cedar	25'+ Tall	TO BE REMOVED	5	n	n	n	4
1502	Cedar	18' Tall	TO BE REMOVED					4
1503	Cedar	24' Tall	TO BE REMOVED					4
1505 1506	Cedar Cedar	25'+ Tall 23' Tall	TO BE REMOVED TO BE REMOVED					4
1509	Cedar	13' Tall	TO BE REMOVED					4
1512	Cedar	13' Tall	TO BE REMOVED					4
1602 1604	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED					4
1604 1605	Cedar	25+ Tall 25'+ Tall	TO BE REMOVED					4
1607	Cedar	16' Tall	TO BE REMOVED					4
1608	Cedar	23' Tall	TO BE REMOVED					4
1609 1610	Cedar Cedar	23' Tall 19' Tall	TO BE REMOVED TO BE REMOVED					4
1611	Cedar	14' Tall	TO BE REMOVED					4
1613	Cedar	25'+ Tall	TO BE REMOVED					4
1615	Cedar	17' Tall	TO BE REMOVED					4
1616 1617	Cedar Cedar	17' Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED	4	n	n	n	4
1619	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
1620	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
1621	Cedar	20' Tall	TO BE REMOVED	2	· •••	-	-	4
1622 1623	Cedar Cedar	23' Tall 12' Tall	TO BE REMOVED	3	n n	n n	n	0
1624	Cedar	21' Tall	TO BE REMOVED	4	n	n	n	4
1625	Cedar	18' Tall	TO BE REMOVED	3	n	n	n	0
1626	Cedar	18' Tall	TO BE REMOVED	3	n	n	n	0
1627 1628	Cedar Cedar	22' Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED	3	n n	n n	n	0
1629	Cedar	23' Tall	TO BE REMOVED	4	n	n	n	4
1630	Cedar	14' Tall	TO BE REMOVED					4
1632 1633	Cedar Cedar	9' Tall 25' Tall	TO BE REMOVED					4
1633	Cedar	18' Tall	TO BE REMOVED					4
1636	Cedar	19' Tall	TO BE REMOVED					4
1637	Cedar	16' Tall	TO BE REMOVED					4
1639 1640	Cedar Cedar	15' Tall 13' Tall	TO BE REMOVED TO BE REMOVED					4
1640	Cedar	15 Tall	TO BE REMOVED					4
1643	Cedar	16' Tall	TO BE REMOVED					4
1644	Cedar	20' Tall	TO BE REMOVED					4
1645 1648	Cedar Cedar	17' Tall 15' Tall	TO BE REMOVED					4
1649	Cedar	15 Tall	TO BE REMOVED					4
1650	Cedar	11' Tall	TO BE REMOVED					4
1652	Cedar	15' Tall	TO BE REMOVED	2				4
1653 1654	Cedar Cedar	20' Tall 25'+ Tall	TO BE REMOVED	3	n	n	n	0
1654 1655	Cedar Cedar	25'+ Tall 27' Tall	TO BE REMOVED	4	n n	n n	n	4
1656	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
1657	Cedar	25' Tall	TO BE REMOVED	4	n	n	n	4
1659 1663	Cedar Cedar	16' Tall 17' Tall	TO BE REMOVED					4
1665	Cedar	16' Tall	TO BE REMOVED					4
1666	Cedar	16' Tall	TO BE REMOVED					4
1667	Cedar	16' Tall	TO BE REMOVED					4
1670 1672	Cedar Cedar	20' Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED					4
1672	Cedar Cedar	25+ Tall 23' Tall	TO BE REMOVED					4
1675	Cedar	23' Tall	TO BE REMOVED					4
1677	Cedar	10' Tall	TO BE REMOVED					4

Iora Cedar 1679 Cedar 1680 Cedar 1681 Cedar 1683 Cedar 1684 Cedar 1685 Cedar 1686 Cedar 1687 Cedar 1689 Cedar 1690 Cedar 1691 Cedar 1695 Cedar 1697 Cedar 1698 Cedar 1701 Cedar 1705 Cedar 1706 Cedar 1707 Cedar 1718 Cedar 1719 Cedar 1711 Cedar 1712 Cedar 1714 Cedar 1723 Cedar 1724 Cedar 1725 Cedar 1730 Cedar 1731 Cedar 1732 Cedar 1733 Cedar 1744 Cedar </th <th>No.</th> <th>Species (common name)</th> <th>(</th>	No.	Species (common name)	(
1680Cedar1681Cedar1683Cedar1684Cedar1686Cedar1687Cedar1689Cedar1690Cedar1691Cedar1695Cedar1695Cedar1696Cedar1697Cedar1698Cedar1704Cedar1705Cedar1706Cedar1707Cedar1708Cedar1709Cedar1710Cedar1711Cedar1712Cedar1714Cedar1715Cedar1720Cedar1721Cedar1722Cedar1723Cedar1724Cedar1725Cedar1730Cedar1731Cedar1733Cedar1734Cedar1735Cedar1744Cedar1755Cedar1756Cedar1757Cedar1758Cedar1764Cedar1775Cedar1776Cedar1786Cedar1786Cedar1787Cedar1786Cedar1786Cedar1807Cedar1808Cedar1809Cedar1801Cedar1802Cedar1803Cedar1804Cedar1815C		Cedar	
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ies	Caliper (inches)	TREE SURVEY Protect	Tree Health	Disease	Insect	Structural	Mitigation
name) ar	or Height (ft.) 17' Tall	or Remove	(1-5)	(Y/N)	(Y/N)	(Y/N)	Required 4
ar	15' Tall	TO BE REMOVED					4
ar ar	12' Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED					4
ar ar	25+ Tall 22' Tall	TO BE REMOVED					4
ar	22' Tall	TO BE REMOVED					4
ar ar	25'+ Tall 16' Tall	TO BE REMOVED					4
ar	23' Tall	TO BE REMOVED					4
ar ar	21' Tall 17' Tall	TO BE REMOVED TO BE REMOVED					4
ar ar	17' Tall 18' Tall	TO BE REMOVED					4
ar	20' Tall	TO BE REMOVED					4
ar ar	22' Tall 20' Tall	TO BE REMOVED					4
ar	18' Tall	TO BE REMOVED					4
ar	18' Tall	TO BE REMOVED		n	n	n	4
ar ar	25' Tall 12' Tall	TO BE REMOVED TO BE REMOVED		n n	n n	n n	4
ar	20' Tall	TO BE REMOVED	4	n	n	n	4
ar	14' Tall	TO BE REMOVED	3	n	n	n	0
ar ar	20' Tall 20' Tall	TO BE REMOVED TO BE REMOVED	3	n n	n	n	0
ar	14' Tall	TO BE REMOVED	3	n	n	n	0
ar ar	16' Tall 25'+ Tall	TO BE REMOVED		n	n	n	0
ar ar	25'+ Tall 21' Tall	TO BE REMOVED	1	n n	n n	n n	4
ar	25' Tall	TO BE REMOVED	4	n	n	n	4
ar	19' Tall	TO BE REMOVED	3	n	n	n	0
ar ar	22' Tall 25' Tall	TO BE REMOVED TO BE REMOVED	4	n n	n n	n n	4
ar	14' Tall	TO BE REMOVED	3	n	n	n	0
ar ar	16' Tall 13' Tall	TO BE REMOVED TO BE REMOVED		n	n	n	0
ar ar	13' Tall 14' Tall	TO BE REMOVED		n n	n n	n n	0
ar	12' Tall	TO BE REMOVED	3	n	n	n	0
ar ar	19' Tall 20' Tall	TO BE REMOVED TO BE REMOVED		n n	n n	n n	0
ar ar	19' Tall	TO BE REMOVED		n n	n n	n	4
ar	20' Tall	TO BE REMOVED	4	n	n	n	4
ar ar	14' Tall 23' Tall	TO BE REMOVED		n n	n n	n n	0
ar Ar	23 Tall 21' Tall	TO BE REMOVED		n	n	n	4
ar	15' Tall	TO BE REMOVED	3	n	n	n	0
ar ar	14' Tall 14' Tall	TO BE REMOVED TO BE REMOVED		n n	n n	n n	0
ar Ar	16' Tall	TO BE REMOVED		n	n	n	4
ar	17' Tall	TO BE REMOVED		n	n	n	0
ar ar	20' Tall 16' Tall	TO BE REMOVED		n n	n n	n n	0
ar	18' Tall	TO BE REMOVED	4	n	n	n	4
ar ar	15' Tall	TO BE REMOVED		n	n	n	0
ar ar	13' Tall 10' Tall	TO BE REMOVED TO BE REMOVED		n n	n n	n n	0
ar	14' Tall	TO BE REMOVED	3	n	n	n	0
ar	12' Tall	TO BE REMOVED		n	n	n	0
ar ar	17' Tall 12' Tall	TO BE REMOVED		n n	n n	n	4
ar	14' Tall	TO BE REMOVED	3	n	n	n	0
ar ar	11' Tall	TO BE REMOVED		n	n	n	0
ar ar	13' Tall 18' Tall	TO BE REMOVED TO BE REMOVED		n n	n n	n n	0
ar	11' Tall	TO BE REMOVED	3	n	n	n	0
ar ar	8' Tall 25'+ Tall	TO BE REMOVED TO REMAIN	3	n n	n n	n n	0
ar ar	25+ Tall	TO REMAIN	5	11	п	11	U
ar	25'+ Tall	TO REMAIN					
ar ar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
ar	25'+ Tall	TO REMAIN					
ir vr	25'+ Tall	TO REMAIN					
ır ır	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
ar	25'+ Tall	TO REMAIN					
ar ar	20' Tall 20' Tall	TO REMAIN					
ar ar	13' Tall	TO REMAIN TO REMAIN					
ar	19' Tall	TO REMAIN					
ar ar	22' Tall 22' Tall	TO REMAIN TO REMAIN					
ar ar	25'+ Tall	TO REMAIN					
ar	25'+ Tall	TO REMAIN					
ar ar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
ar ar	25+ Tall	TO REMAIN					
ar	25'+ Tall	TO REMAIN					
ir ir	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
ar	25'+ Tall	TO REMAIN					
ar	25'+ Tall	TO REMAIN					
ar ar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
ar Ir	25'+ Tall	TO REMAIN					
ar Dr	25'+ Tall	TO REMAIN					
ar ar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
ar	24' Tall	TO BE REMOVED	4	n	n	n	4
ar Sr	23' Tall	TO REMAIN					
ar ar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
ar	25'+ Tall	TO REMAIN					
ar Dr	25'+ Tall	TO REMAIN					
ar ar	25'+ Tall 18' Tall	TO REMAIN TO REMAIN					
ar	25'+ Tall	TO REMAIN					
ar	20' Tall	TO REMAIN					
ar ar	21' Tall 25'+ Tall	TO REMAIN TO REMAIN					
ar	25'+ Tall	TO REMAIN					
	25'+ Tall	TO REMAIN					



12801 N. Central Expy Suite 1760 Dallas, Texas 75243 (214) 865-7192

OMEGA DESIGN, LLC 811 S. CENTRAL EXPRESSWAY SUITE 306 RICHARDSON, TX 75080

TBPE	E FIRM NO). F-20145								
RE	REVISIONS									
#	DATE	COMMENTS								
1	05.06.20	City Comments								
2	10.13.20	City Comments								
3	11.19.21	City Comments								
4	12.06.21	City Comments								
5	03.03.22	City Comments								
6	08.05.22	City Comments								
7	05.17.24	City Comments								
8	07.25.24	City Comments								
9	08.29.24	City Comments								
10	02.14.25	Owner Comments								



OWNER INFORMATION

LLC Lakeside Kids, I 5909 Beth Drive Plano, TX 75093

PINNACLE MONTESSORI ACADEMY ROCKWALL E. RALPH HALL PARKWAY AND PLAZA DRIVE ROCKWALL, TEXAS

PROJECT INFORMATION

SHEET TITLE

TREE PRESERVATION NOTES

SHEET NUMBER

ISSUE DATE:

			TREE SURVEY			Lange and L		
No.	Species (common name)	Caliper (inches) or Height (ft.)	Protect or Remove	Tree Health (1-5)	Disease (Y/N)	Insect (Y/N)	Structural (Y/N)	Mitigation Required
1847	Cedar	18' Tall	TO REMAIN		. ,	· · ·		•
1848 1849	Cedar Cedar	22' Tall 23' Tall	TO REMAIN TO REMAIN					
1850	Cedar	25'+ Tall	TO REMAIN					
1851 1853	Cedar Cedar	25'+ Tall 22' Tall	TO REMAIN TO REMAIN					
1853	Cedar	25'+ Tall	TO REMAIN					
1855	Cedar	25'+ Tall	TO REMAIN					
1856 1857	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
1858	Cedar	25'+ Tall	TO REMAIN					
1859	Cedar	25'+ Tall	TO REMAIN					
1860 1861	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
1862	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
1863 1864	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
1865	Cedar	25+ Tall	TO REMAIN					
1866	Cedar	22' Tall	TO REMAIN					
1867 1868	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
1869	Cedar	25'+ Tall	TO REMAIN					
1870	Cedar	25'+ Tall	TO REMAIN					
1871 1872	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
1873	Cedar	20' Tall	TO REMAIN					
1874 1876	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
1877	Cedar	23+ Tall 22' Tall	TO REMAIN					
1878	Cedar	25'+ Tall	TO BE REMOVED					4
1879 1880	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
1881	Cedar	25'+ Tall	TO REMAIN					
1882	Cedar	25'+ Tall	TO REMAIN					
1883 1884	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
1885	Cedar	25'+ Tall	TO REMAIN					
1886 1887	Cedar	25'+ Tall	TO REMAIN					
1887 1888	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
1889	Cedar	25'+ Tall	TO REMAIN					
1890 1891	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
1892	Cedar	25'+ Tall	TO REMAIN					
1894	Cedar	25'+ Tall	TO BE REMOVED					4
1895 1897	Cedar Cedar	25'+ Tall 20' Tall	TO BE REMOVED					4
1899	Cedar	22' Tall	TO BE REMOVED					4
1900	Cedar	20' Tall	TO BE REMOVED	4	5		2	4
1906 1908	Cedar Cedar	24' Tall 14' Tall	TO BE REMOVED	4	n n	n n	n	4
1909	Cedar	8' Tall	TO BE REMOVED	3	n	n	n	0
1912 1914	Cedar Cedar	14' Tall 16' Tall	TO BE REMOVED	3	n n	n	n n	0
1914	Cedar	23' Tall	TO BE REMOVED	4	n	n n	n	4
1917	Cedar	15' Tall	TO BE REMOVED	3	n	n	n	0
1919 1921	Cedar Cedar	24' Tall 14' Tall	TO BE REMOVED	4	n n	n n	n	4
1926	Cedar	11' Tall	TO BE REMOVED	3	n	n	n	0
1928	Cedar	17' Tall	TO BE REMOVED	4	n	n	n	4
1930 1931	Cedar Cedar	24' Tall 24' Tall	TO REMAIN TO REMAIN					
1932	Cedar	21' Tall	TO REMAIN					
1933 1934	Cedar Cedar	17' Tall 18' Tall	TO REMAIN TO REMAIN					
1935	Cedar	22' Tall	TO REMAIN					
1936	Cedar	13' Tall	TO REMAIN					
1937 1938	Cedar Cedar	20' Tall 25'+ Tall	TO REMAIN TO REMAIN					
1939	Cedar	18' Tall	TO REMAIN					
1940 1941	Cedar	13' Tall	TO REMAIN					
1941 1942	Cedar Cedar	14' Tall 24' Tall	TO REMAIN TO REMAIN					
1943	Cedar	25'+ Tall	TO REMAIN					
1944 1945	Cedar Cedar	15' Tall 14' Tall	TO REMAIN TO REMAIN					
1945	Cedar	24' Tall	TO REMAIN					
1947	Cedar	25'+ Tall	TO REMAIN					
1948 1949	Cedar Cedar	18' Tall 17' Tall	TO REMAIN TO REMAIN					
1950	Cedar	25' Tall	TO REMAIN					
1951 1952	Cedar	14' Tall	TO REMAIN					
1952 1953	Cedar Cedar	20' Tall 20' Tall	TO REMAIN TO REMAIN					
1954	Cedar	14' Tall	TO REMAIN					
1957 1958	Cedar Cedar	18' Tall 14' Tall	TO BE REMOVED					4
1958	Cedar	23' Tall	TO BE REMOVED					4
1961	Cedar	12' Tall	TO BE REMOVED					4
1962 1963	Cedar Cedar	18' Tall 15' Tall	TO BE REMOVED					4 4
1964	Cedar	25'+ Tall	TO BE REMOVED					4
1965 1967	Cedar	12' Tall 20' Tall		1	n	n	n	Λ
1967 1969	Cedar Cedar	20' Tall 25'+ Tall	TO BE REMOVED	4	n	n	n	4
1970	Cedar	14' Tall	TO BE REMOVED					4
1971 1973	Cedar Cedar	12' Tall 17' Tall	TO BE REMOVED					4
1973	Cedar	25'+ Tall	TO REMAIN					4
2017	Cedar	25'+ Tall	TO BE REMOVED					4
2018 2020	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED					4
2020	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2023	Cedar	24' Tall	TO BE REMOVED	4	n	n	n	4
2024 2025	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
	Cedar	25'+ Tall	TO REMAIN					
2027								
2027 2028 2029	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					

No.	Species	Caliper (inches)		Tree Health	Disease	Insect	Structural	Mitigatio
2031	(common name) Cedar	or Height (ft.) 25'+ Tall	or Remove TO REMAIN	(1-5)	(Y/N)	(Y/N)	(Y/N)	Require
2032	Cedar	25'+ Tall	TO REMAIN					
2033	Cedar	25'+ Tall	TO REMAIN					
2034 2035	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO BE REMOVED	4	n	n	n	4
2036	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2037	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2038 2039	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED	4	n	n	n	4
2039	Cedar	25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
2042	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2043	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2044 2045	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED	4	n n	n n	n n	4
2046	American Elm	10" Caliper	TO BE REMOVED	4	n	n	n	10
2047	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2048 2049	Green Ash Cedar	12" Caliper 25'+ Tall	TO BE REMOVED TO BE REMOVED	2	n n	n n	y n	0
2049	Green Ash	10" Caliper	TO BE REMOVED	2	n	n	y y	0
2051	Cedar	25'+ Tall	TO BE REMOVED					4
2052 2053	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED TO REMAIN					4
2053	Cedar	25'+ Tall	TO REMAIN					
2055	Cedar	25'+ Tall	TO REMAIN					
2056	Cedar	25'+ Tall	TO REMAIN					
2057 2059	Cedar Cedar	25'+ Tall 21" Tall	TO BE REMOVED TO BE REMOVED	4	n	n	n	4
2059	Cedar	21 Tall 24' Tall	TO BE REMOVED	4	n	n	n	4
2062	Cedar	25' Tall	TO BE REMOVED					4
2064	Cottonwood	10" Caliper	TO BE REMOVED	3	n	n	n	0
2065 2066	Cedar Cedar	24' Tall 25'+ Tall	TO BE REMOVED					4
2000	Cedar	24' Tall	TO BE REMOVED					4
2068	Cedar	24' Tall	TO BE REMOVED	4	n	n	n	4
2076	Cedar	25'+ Tall	TO BE REMOVED	Α	5	-	n	4
2078 2083	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED	4	n n	n n	n n	4
2085	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2091	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2093 2095	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
2095	Cedar	25+ Tall	TO BE REMOVED	4	n	n	n	4
2098	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2301	Cedar	18' Tall	TO BE REMOVED	4	n	n	n	4
2302 2303	Cedar Cedar	23' Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
2304	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2305	Cedar	24' Tall	TO BE REMOVED	4	n	n	n	4
2306 2307	Cedar Cedar	23' Tall 23' Tall	TO BE REMOVED	4	n	n	n	4
2307	Cedar	23 Tall 24' Tall	TO BE REMOVED	4	n n	n n	n n	4
2315	Cedar	25' Tall	TO BE REMOVED	4	n	n	n	4
2316	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2317 2318	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED	4	n n	n n	n n	4
2319	Cedar	25+ Tall	TO BE REMOVED	4	n	n	n	4
2320	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2321 2322	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED	4	n	n	n	4
2322	Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
2324	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2325	Cedar	25' Tall 25' Tall	TO BE REMOVED	4	n	n	n	4
2326 2327	Cedar Cedar	25 Tall	TO BE REMOVED	4	n n	n n	n n	4
2328	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2329	Cedar	25' Tall	TO BE REMOVED	4	n	n	n	4
2330 2331	Cedar Cedar	24' Tall 23' Tall	TO BE REMOVED	4	n n	n n	n n	4
2332	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2333	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2334 2335	Cedar Cedar	25' Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED	4	n	n	n	4
2335	Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
2337	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2338	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2339 2340	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
2341	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2342	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2343 2344	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED	4	n n	n	n n	4
2344 2345	Cedar	25+ Tall 25'+ Tall	TO BE REMOVED	4	n	n n	n	4
2346	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2347 2348	Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED	4	n	n	n	4
2348	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
2350	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2351	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2352 2353	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED TO REMAIN	4	n	n	n	4
2353	Cedar	25+ Tall	TO REMAIN					
2355	Cedar	25'+ Tall	TO REMAIN					
2356	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2357 2358	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED	4	n n	n n	n n	4
2359	Cedar	25+ Tall	TO BE REMOVED	4	n	n	n	4
2360	Cedar	25'+ Tall	TO REMAIN					
2361	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2362 2363	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
2365	Cedar	25+ Tall	TO REMAIN					
2366	Cedar	25'+ Tall	TO REMAIN					
2367	Cedar	25'+ Tall	TO REMAIN					
2368 2369	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
2370	Cedar	25'+ Tall	TO REMAIN					
2371	Cedar	23' Tall	TO BE REMOVED	4	n	n	n	4
2372 2373	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
1115	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4

No.	Species
	(common name)
2375 2376	Cedar Cedar
2377	Cedar
2379 2380	Cedar Cedar
2381	Cedar
2382	Cedar
2383 2384	Cedar Cedar
2386	Cedar
2387 2388	Cedar Cedar
2389	Cedar
2390	Cedar
2391 2392	Cedar Cedar
2393	Cedar
2394 2396	Cedar Cedar
2397	Cedar
2399 2400	Cedar Cedar
2400	Cedar
2402	Cedar
2403 2404	Cedar Cottonwood
2405	Cedar
2406 2407	Cedar
2407 2408	Cedar Cedar
2409	Cedar
2410 2411	Cedar Cedar
2412	Cedar
2413 2414	Cedar
2414 2415	Cedar Cedar
2416	Cedar
2417 2418	Cedar Cedar
2419	Cedar
2420 2421	Cedar
2421	Cedar Cedar
2423	Tree
2424 2425	Tree Tree
2426	Tree
2427	Tree
2428 2429	Tree Hackberry
2430	Hackberry
2431 2433	Hackberry Cedar
2434	Cedar
2435 2436	Cedar Cedar
2436	Cedar
2439	Cedar
2440 2441	Cedar Cedar
2442	Cedar
2443 2444	Cedar Cedar
2445	Cedar
2446	Tree
2447 2448	Tree Tree
2452	Tree
2454 2455	Tree Cedar
2456	Cedar
2457	Cedar
2463 2466	Tree Cedar
2467	Tree
2468 2469	Cedar Cedar
2470	Cedar
2471 2472	Cedar Cedar
2472 2473	Tree
2474	Tree
2475 2476	Green Ash Cedar
2477	Tree
2478 2479	Cedar
2479 2480	Cedar Cedar
2481	Cedar
2482 2483	Green Ash Cedar
2484	Cedar
2485 2486	Cedar Cedar
2486 2487	Cedar
2488	Cedar
2489 2490	Cedar Cedar
2491	Cedar
2492 2493	Cedar Cedar
2493 2494	Cedar
2495	Cedar
2496 2497	Cedar Cedar
2498	Cedar
2499 2501	Cedar Cedar
2501	Cedar

4 4 4 4 4

cies	Caliper (inches)	TREE SURVEY Protect	Tree Health	Disease	Insect	Structural	Mitigation
n name) dar	or Height (ft.) 25'+ Tall	or Remove TO BE REMOVED	(1-5) 4	(Y/N)	(Y/N)	(Y/N)	Required 4
dar dar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
dar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
dar dar	25'+ Tall 25'+ Tall	TO REMAIN TO BE REMOVED	4	n	n	n	4
dar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
dar dar	25'+ Tall 20' Tall	TO BE REMOVED TO BE REMOVED		n n	n n	n	4
dar	25' Tall	TO BE REMOVED	4	n	n	n	4
dar	20' Tall	TO BE REMOVED	4	n	n	n	4
dar dar	25' Tall 20' Tall	TO BE REMOVED	4	n n	n n	n n	4
dar	19' Tall	TO BE REMOVED	4	n	n	n	4
dar dar	21' Tall 20' Tall	TO BE REMOVED	4	n n	n n	n n	4
dar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
dar	22' Tall	TO BE REMOVED	4	n	n	n	4
dar dar	24' Tall 22' Tall	TO BE REMOVED	4	n n	n n	n	4
dar	21' Tall	TO BE REMOVED		n	n	n	4
dar dar	20' Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
dar	25'+ Tall	TO BE REMOVED		n	n	n	4
dar	25'+ Tall	TO BE REMOVED		n	n	n	4
lar wood	25'+ Tall 8" Caliper	TO BE REMOVED	4	n n	n n	n	4
dar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
lar Iar	20' Tall 20' Tall	TO BE REMOVED TO BE REMOVED	4	n	n	n	4
lar lar	20' Tall 25'+ Tall	TO BE REMOVED		n n	n n	n n	4
lar	25' Tall	TO BE REMOVED	4	n	n	n	4
dar dar	22' Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED		n n	n n	n n	4
dar	24' Tall	TO BE REMOVED	г	11			4
lar Iar	25'+ Tall	TO REMAIN					
lar lar	25' Tall 25' Tall	TO REMAIN TO REMAIN					
lar	25' Tall	TO REMAIN					
lar lar	18' Tall 25'+ Tall	TO REMAIN TO REMAIN					
lar	25'+ Tall	TO REMAIN					
lar Iar	25'+ Tall						
lar lar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
e	12" Caliper	TO REMAIN					
e	8" Caliper 16" Caliper	TO REMAIN TO REMAIN					
e e	14" Caliper	TO REMAIN					
e	8" Caliper	TO REMAIN					
e berry	10" Caliper 10" Caliper	TO REMAIN TO BE REMOVED	2	n	n	у	0
berry	8" Caliper	TO BE REMOVED	2	n	n	y y	0
berry lar	10" Caliper 25'+ Tall	TO BE REMOVED TO BE REMOVED	4	n	n	n	0 4
lar lar	23' Tall	TO REMAIN	4	n	n	n	4
lar	25' Tall	TO REMAIN					
lar lar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
lar	25'+ Tall	TO REMAIN					
lar Iar	25'+ Tall	TO REMAIN					
lar Iar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
lar	25'+ Tall	TO REMAIN					
lar Iar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
e	14" Caliper	TO REMAIN					
e	6" Caliper	TO REMAIN					
e e	12" Caliper 8" Caliper	TO REMAIN TO REMAIN					
е	6" Caliper	TO REMAIN					
lar Iar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
ar ar	25'+ Tall 25'+ Tall	TO REMAIN					
e	10" Caliper	TO REMAIN					
lar e	25'+ Tall 6" Caliper	TO REMAIN TO REMAIN					
lar	25'+ Tall	TO REMAIN					
ar ar	25'+ Tall	TO REMAIN					
ar ar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
ar	25'+ Tall	TO REMAIN					
e e	14" Caliper 6" Caliper	TO REMAIN TO REMAIN					
Ash	8" Caliper	TO BE REMOVED					0
lar	25'+ Tall	TO BE REMOVED					4
e lar	6" Caliper 25'+ Tall	TO BE REMOVED					6 4
ar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
ar ar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n	n	n	4
Ash	8" Caliper	TO BE REMOVED	4	n	n	n	0
ar	25'+ Tall	TO BE REMOVED	2	n	n	У	0
ar ar	25'+ Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED		n n	n n	n n	4
ar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
ar ar	25'+ Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED	4	n	n	n	4
ar ar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
ar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
ar ar	25'+ Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED					4
ar	25+ Tall	TO BE REMOVED	4	n	n	n	4
lar	25'+ Tall	TO REMAIN					
lar Iar	25'+ Tall 25'+ Tall	TO BE REMOVED TO REMAIN					4
ar	25'+ Tall	TO REMAIN					
ar ar	25'+ Tall	TO REMAIN					
ar ar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
	25'+ Tall	TO REMAIN					

BELLE FIRMA

OMEGA DESIGN, LLC 811 S. CENTRAL EXPRESSWAY SUITE 306 RICHARDSON, TX 75080

TBPE	TBPE FIRM NO. F-20145				
RE	REVISIONS				
#	DATE	COMMENTS			
1	05.06.20	City Comments			
2	10.13.20	City Comments			
3	11.19.21	City Comments			
4	12.06.21	City Comments			
5	03.03.22	City Comments			
6	08.05.22	City Comments			
7	05.17.24	City Comments			
8	07.25.24	City Comments			
9	08.29.24	City Comments			
10	02.14.25	Owner Comments			



OWNER INFORMATION

Lakeside Kids, LLC 5909 Beth Drive Plano, TX 75093

PROJECT INFOR	RMATION	
PINNACLE MONTESSORI ACADEMY ROCKWALL	E. KALPH HALL PAKKWAY AND PLAZA DRIVE ROCKWALL, TEXAS	PROJECT NUMBER: PMA032
SHEET TIT	ΓLE	
TREE PRESERVA NOTES	TION	

SHEET NUMBER

L1.04

ISSUE DATE:

12801 N. Central Expy Suite 1760 Dallas, Texas 75243 (214) 865-7192

			TREE SURVEY	FIELD DATA	L .			
No.	Species	Caliper (inches)	Protect	Tree Health	Disease	Insect	Structural	Mitigation
2504	(common name) Cedar	or Height (ft.) 25'+ Tall	or Remove TO REMAIN	(1-5)	(Y/N)	(Y/N)	(Y/N)	Required
2507	Cedar	25'+ Tall	TO REMAIN					
2508 2510	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
2511 2512	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
2512	Tree	8" Caliper	TO REMAIN					
2514 2515	Tree Cedar	10" Caliper 25'+ Tall	TO REMAIN TO REMAIN					
2515	Tree	8" Caliper	TO REMAIN					
2517	Cedar	18' Tall		4			-	1
2518 2519	Cedar Cedar	25' Tall 22' Tall	TO BE REMOVED TO REMAIN	4	n	n	n	4
2520	Cedar	25'+ Tall	TO REMAIN					
2521 2522	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
2523	Tree	8" Caliper	TO REMAIN					
2524 2525	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
2526	Cedar	25'+ Tall	TO REMAIN					
2527 2528	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
2529	Cedar	25'+ Tall	TO BE REMOVED					4
2530 2531	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED					4 4
2532	Cedar	25'+ Tall	TO REMAIN					
2533 2535	Tree Cedar	6" Caliper 25'+ Tall	TO BE REMOVED	4	n	n	n	4 4
2536	Cedar	25'+ Tall	TO BE REMOVED					4
2537 2539	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n	n	n	4
2540	Cedar	25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
2542 2543	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n	n n	n	4
2545	Cedar	25'+ Tall	TO BE REMOVED	4	n n	n	n n	4
2546 2548	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED	4	n n	n n	n n	4
2549	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2550 2551	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED	4	n n	n n	n n	4
2552	Cedar	25+ Tall	TO BE REMOVED	4	n	n	n	4
2553	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2555 2556	Cedar Cedar	23' Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
2558	Tree	6" Caliper	TO BE REMOVED					6
2559 2560	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n	4 4
2561	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2562 2563	Cedar Tree	25'+ Tall 14" Caliper	TO BE REMOVED	4	n	n	n	4
2565	Cedar	25'+ Tall	TO BE REMOVED					4
2566 2568	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n	4 4
2569	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2570 2571	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n	4 4
2572	Cedar	18' Tall	TO BE REMOVED	4	n	n	n	4
2573 2574	Cedar Cedar	25'+ Tall 25' Tall	TO BE REMOVED	4	n n	n n	n	4 4
2576	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2577 2578	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4 4
2579	Tree	14" Caliper	TO BE REMOVED					14
2580 2581	Tree Tree	10" Caliper 6" Caliper	TO BE REMOVED					10 6
2582	Cedar	25' Tall	TO BE REMOVED					4
2583 2584	Cedar Tree	24' Tall 12" Caliper	TO BE REMOVED					4
2585	Cedar	25'+ Tall	TO BE REMOVED					4
2586 2587	Cedar Tree	25'+ Tall 8" Caliper	TO BE REMOVED					4 8
2588	Cedar	25'+ Tall	TO BE REMOVED					4
2589 2591	Cedar Tree	25'+ Tall 6" Caliper	TO BE REMOVED TO REMAIN					4
2592	Tree	6" Caliper	TO REMAIN					
2593 2594	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED TO BE REMOVED					4
2595	Tree	6" Caliper	TO BE REMOVED					4 6
2596 2597	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED					4
2598	Cedar	25'+ Tall	TO BE REMOVED					4
2599 2600	Tree Tree	10" Caliper 8" Caliper	TO BE REMOVED TO BE REMOVED					10 8
2600	Tree	8" Caliper 10" Caliper	TO BE REMOVED					8
2608	Cedar	25'+ Tall	TO REMAIN					
2609 2610	Cedar Tree	25'+ Tall 12" Caliper	TO REMAIN TO REMAIN					
2611	Tree	8" Caliper	TO REMAIN					
2612 2613	Tree Tree	12" Caliper 6" Caliper	TO REMAIN TO REMAIN					
2614	Tree	6" Caliper	TO REMAIN					
2615 2616	Tree Cedar	12" Caliper 25'+ Tall	TO REMAIN TO REMAIN					
2617	Tree	8" Caliper	TO REMAIN					
2618 2619	Tree Tree	8" Caliper 6" Caliper	TO REMAIN TO REMAIN					
2620	Cedar	25'+ Tall	TO REMAIN					-
2633 2634	Gulf Black Willow Tree	6" Caliper 6" Caliper	TO BE REMOVED					0
2635	Tree	8" Caliper	TO REMAIN					~
2636 2637	Tree Tree	6" Caliper 6" Caliper	TO REMAIN TO REMAIN					
2638	Tree	6" Caliper	TO REMAIN					
2639 2640	Tree Tree	8" Caliper 16" Caliper	TO REMAIN TO REMAIN					
264 <mark>1</mark>	Tree	6" Caliper	TO REMAIN					
2642 2643	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
2644	Cedar	25'+ Tall	TO REMAIN					
2645	Tree	12" Caliper	TO REMAIN					

No.	-	Caliper (inches)		Free Health		Insect	Structural	Mitigatio
2646	(common name) Tree	or Height (ft.) 12" Caliper	or Remove TO REMAIN	(1-5)	(Y/N)	(Y/N)	(Y/N)	Require
2647	Tree	6" Caliper	TO REMAIN					
2648	Cedar	25'+ Tall	TO REMAIN					
2649	Cedar	25'+ Tall	TO REMAIN					
2650 2651	Tree Tree	6" Caliper 14" Caliper	TO REMAIN TO REMAIN					
2652	Tree	6" Caliper	TO REMAIN					
2653	Tree	6" Caliper	TO REMAIN					
2654	Tree	6" Caliper	TO REMAIN					
2657	Tree	16" Caliper	TO REMAIN					
2658	Tree	6" Caliper	TO REMAIN					
2659 2660	Tree Tree	14" Caliper 6" Caliper	TO REMAIN TO REMAIN					
2661	Tree	10" Caliper	TO REMAIN					
2662	Tree	16" Caliper	TO REMAIN					
2663	Tree	14" Caliper	TO REMAIN					
2664	Tree	12" Caliper	TO REMAIN					
2666 2667	Cedar Cedar	25'+ Tall 25' Tall	TO REMAIN TO REMAIN					
2668	Tree	12" Caliper	TO REMAIN					
2669	Tree	8" Caliper	TO REMAIN					
2670	Tree	8" Caliper	TO REMAIN					
2671	Cedar	25'+ Tall	TO REMAIN					
2672 2673	Tree Cedar	12" Caliper 25'+ Tall	TO REMAIN TO REMAIN					
2674	Cedar	25'+ Tall	TO REMAIN					
2675	Tree	8" Caliper	TO REMAIN					
2676	Cedar	25'+ Tall	TO REMAIN					
2677	Cedar	25'+ Tall	TO REMAIN					
2678 2679	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
2679	Tree	12" Caliper	TO REMAIN					
2681	Cedar	25'+ Tall	TO REMAIN					
2682	Cedar	25'+ Tall	TO REMAIN					
2683	Cedar	25'+ Tall	TO REMAIN					
2684 2685	Cedar	25'+ Tall 25'+ Tall	TO REMAIN					
2685	Cedar Cedar	25'+ Tall	TO REMAIN TO REMAIN					
2687	Cedar	25+ Tall	TO REMAIN					
2688	Tree	8" Caliper	TO REMAIN					
2689	Cedar	25'+ Tall	TO REMAIN					
2690	Tree	8" Caliper	TO REMAIN					
2691 2692	Tree Cedar	8" Caliper 25'+ Tall	TO REMAIN TO REMAIN					
2693	Tree	10" Caliper	TO REMAIN					
2695	Cedar	25'+ Tall	TO REMAIN					
2696	Cedar	18' Tall	TO REMAIN					
2697	Cedar	25'+ Tall	TO REMAIN					
2698 2699	Cedar Cedar	25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					
2699	Tree	8" Caliper	TO REMAIN					
2907	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2908	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2909	Cottonwood	10" Caliper	TO BE REMOVED	3	n	n	n	0
2910 2911	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n	n	n	4
2911	Cedar	25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
2912	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2915	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2917	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2918 2919	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4 4	n	n	n	4
2920	Cedar	25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
2921	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2923	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2924	Cottonwood	6" Caliper	TO BE REMOVED	3	n	n	n	0
2925 2931	Bois D' Arc	6" Caliper 16" Caliper	TO BE REMOVED	3	n	n	n	0
2931	Cottonwood Cedar	25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
2932	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2934	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
2935	Tree	12" Caliper	TO REMAIN					
6001	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
6002 6003	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED TO REMAIN	4	n	n	n	4
6004	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
6005	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
6006	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
6007 6008	Cedar Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n	n	n	4
6008	Cedar	25'+ Tall	TO BE REMOVED	4 4	n n	n n	n n	4
6010	Cedar	25'+ Tall	TO REMAIN					т
6011	Cedar	25'+ Tall	TO BE REMOVED					4
6012	Cedar	25' Tall	TO BE REMOVED	4	n	n	n	4
6013 6014	Cedar Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
6014 6015	Cedar	25'+ Tall 25'+ Tall	TO BE REMOVED	4	n n	n n	n n	4
6016	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
6017	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
6018	Cedar	25'+ Tall	TO REMAIN	4	n	n	n	
6019	Cedar	25'+ Tall	TO BE REMOVED					4
6020 6021	Cedar Cedar	25'+ Tall 21' Tall	TO BE REMOVED					4
6021	Cedar	25' Tall	TO BE REMOVED					4
6023	Cedar	23' Tall	TO BE REMOVED					4
6024	Cedar	24' Tall	TO BE REMOVED					4
6025	Cedar	24' Tall	TO BE REMOVED					4
6026	Cedar	25' Tall	TO BE REMOVED	4	-			4
6027 6028	Cedar Cedar	25' Tall 25'+ Tall	TO BE REMOVED	4	n	n	n	4
6028	Cedar	25' Tall	TO REMAIN					
6030	Cedar	23' Tall	TO BE REMOVED					4
6031	Cedar	24' Tall	TO BE REMOVED					4
6032	Cedar	25'+ Tall	TO REMAIN					
0000	Cedar	25'+ Tall	TO REMAIN TO BE REMOVED					4
6033 6034	Codor	969 169						4
6034	Cedar Cedar	25'+ Tall 25'+ Tall						
	Cedar Cedar Cedar	25'+ Tall 25'+ Tall 25'+ Tall	TO REMAIN TO REMAIN					

No.	Species	Caliper (inches)	Protect	Tree Health	Disease	Insect	Structural	Mitigation
	(common name)	or Height (ft.)	or Remove	(1-5)	(Y/N)	(Y/N)	(Y/N)	Required
6039	Cedar	25'+ Tall	TO REMAIN					
6040	Cedar	25'+ Tall	TO REMAIN					
6041	Cedar	25'+ Tall	TO BE REMOVED					4
6042	Hackberry	12" Caliper	TO REMAIN					
6043	Hackberry	12" Caliper	TO REMAIN					
6044	Green Ash	8" Caliper	TO REMAIN					
6045	Hackberry	10" Caliper	TO REMAIN					
6046	Hackberry	10" Caliper	TO REMAIN					
6047	Gulf Black Willow	12" Caliper	TO REMAIN					
6048	Gulf Black Willow	10" Caliper	TO REMAIN					
6049	Cottonwood	10" Caliper	TO REMAIN					
6050	Green Ash	6" Caliper	TO REMAIN					
6051	Cottonwood	6" Caliper	TO BE REMOVED	3	n	n	n	0
6052		12" Caliper	TO BE REMOVED		n	n	CONTROL OF THE OWNER	0
	Hackberry				n	n	n	
6053	Hackberry	8" Caliper	TO BE REMOVED		n	n	n	0
6054	Green Ash	6" Caliper	TO BE REMOVED		n	n	У	0
6055	American Elm	6" Caliper	TO BE REMOVED		n	n	n	9
6056	Hackberry	6" Caliper	TO BE REMOVED		n	n	n	0
6057	Hackberry	12" Caliper	TO BE REMOVED		n	n	n	0
6058	Hackberry	8" Caliper	TO BE REMOVED	a second s	n	n	У	0
6059	Hackberry	6" Caliper	TO BE REMOVED	2	n	n	n	0
6060	Hackberry	12" Caliper	TO REMAIN					
6061	Cedar Elm	12" Caliper	TO REMAIN					
6062	Hackberry	6" Caliper	TO REMAIN					
6063	Hackberry	10" Caliper	TO REMAIN					
6064	American Elm	8" Caliper	TO REMAIN					
6065	Cedar Elm	8" Caliper	TO REMAIN					
6066	Cedar	25'+ Tall	TO REMAIN					
6067	American Elm	10" Caliper	TO REMAIN					
6068	Hackberry	6" Caliper	TO REMAIN					
6069	Hackberry	6" Caliper	TO REMAIN					
6070	Cottonwood	10" Caliper	TO BE REMOVED	3	n	n	n	0
6070	Hackberry	8" Caliper	TO BE REMOVED		n		n	0
					n	n	n	
6072	Hackberry	6" Caliper	TO BE REMOVED		n	n	n	0
6073	Hackberry	6" Caliper	TO BE REMOVED		n	n	n	0
6074	Hackberry	10" Caliper	TO BE REMOVED		n	n	n	0
6075	Hackberry	6" Caliper	TO BE REMOVED		n	n	n	0
6076	American Elm	10" Caliper	TO BE REMOVED		n	n	n	10
6077	Hackberry	8" Caliper	TO BE REMOVED		n	n	n	0
6078	Hackberry	6" Caliper	TO BE REMOVED		n	n	n	0
6079	Cedar	25'+ Tall	TO BE REMOVED		n	n	n	4
6080	Hackberry	6" Caliper	TO BE REMOVED	3	n	n	n	0
6081	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
6082	Hackberry	8" Caliper	TO BE REMOVED	3	n	n	n	0
6083	Hackberry	10" Caliper	TO BE REMOVED		n	n	n	0
6084	Hackberry	8" Caliper	TO BE REMOVED		n	n	n	0
6085	Hackberry	6" Caliper	TO BE REMOVED					0
6086	Hackberry	6" Caliper	TO BE REMOVED					0
6087	Hackberry	6" Caliper	TO BE REMOVED					0
6088	Cedar	12" Caliper	TO REMAIN					v
6089	Cedar	12 Caliper	TO REMAIN					
6090	Cedar	12" Caliper	TO REMAIN					
	The second state of the se			A	<u>n</u>			0
6091	American Elm	8" Caliper	TO BE REMOVED		n	n	n	8
6092	Cedar	25'+ Tall	TO BE REMOVED		n	n	n	4
6093	Hackberry	6" Caliper	TO BE REMOVED					0
6094	Cedar	25'+ Tall	TO BE REMOVED		n	n	n	4
6095	Green Ash	10" Caliper	TO BE REMOVED		n	n	У	0
6096	Cedar	6" Caliper	TO BE REMOVED	· · · · · · · · · · · · · · · · · · ·	n	n	n	4
6097	Cottonwood	22" Caliper	TO BE REMOVED		n	n	n	0
6098	Hackberry	8" Caliper	TO BE REMOVED		n	n	n	0
6099	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
6100	Cedar	25'+ Tall	TO BE REMOVED	4	n	n	n	4
	ation Inches Requi			·				2,0
al Mitig al Mitig igation	ation Inches Provi ation Inches Rema Credit Purchase (2 nase for Parks and	ded - (72) 4" cal. t ining 0% max. = 345 Ind		ich)				1, ⁻ \$34,540. \$82,436.
		tion Settlement						\$116,976.

OMEGA DESIGN, LLC 811 S. CENTRAL EXPRESSWAY SUITE 306 RICHARDSON, TX 75080

TBPE FIRM NO. F-20145

RE	REVISIONS				
#	DATE	COMMENTS			
1	05.06.20	City Comments			
2	10.13.20	City Comments			
3	11.19.21	City Comments			
4	12.06.21	City Comments			
5	03.03.22	City Comments			
6	08.05.22	City Comments			
7	05.17.24	City Comments			
8	07.25.24	City Comments			
9	08.29.24	City Comments			
10	02.14.25	Owner Comments			



OWNER INFORMATION

LLC Lakeside Kids, I 5909 Beth Drive Plano, TX 75093

PROJECT INFORMATION

RIVE **PINNACLE MONTESSORI ACADEMY ROCKWALL** E. RALPH HALL PARKWAY AND PLAZA DRIVI ROCKWALL, TEXAS



TREE PRESERVATION NOTES

SHEET NUMBER

L1.05

ISSUE DATE:



12801 N. Central Expy Suite 1760 Dallas, Texas 75243 (214) 865-7192



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	Henry Lee, Senior Planner
DATE:	March 25, 2025
SUBJECT:	MIS2025-006; Exception Request for Synthetic Plant Materials at 304 Shamrock Circle

On March 10, 2025, the Building Inspection Department engaged Daniel Melendez -- *the property owner at 304 Shamrock* --, concerning the the installation of artificial turf without a building permit. In response to this, the property owner applied for an *Exception* request on March 14, 2025. In accordance with Section 10, *Fee Schedule*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the applicant was required to pay a \$1,000.00 non-compliant structure fee in addition to the development application fee for performing work without the required building permits.

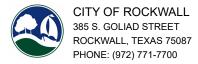
According to Section 4(B), *Prohibited Planting Materials*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(a)rtificial or synthetic plant materials (*e.g. artificial grass, turf, trees, and/or shrubs*) shall be prohibited on all residentially zoned or used property in: [1] the required front yard (*i.e. the area that extends from the front property line to the front façade of the primary structure*); [2] in areas of the required side or rear yard that are visible from public right-of-way, open space, or public parkland; [3] in public rights-of-way; and [4] in easements; however, a maximum of 400 square feet of non-PFAS (*i.e. Perfluorinated Alkylated Substances*) artificial grass or turf shall be permitted in the rear yard of all residentially zoned or used property regardless of visibility or screening." In this case, the applicant is requesting an exception to item [2], due to the artificial turf being visible from open space in the side yard and there being greater than 400 SF in the rear yard. Based on the proposed site plan there is approximately



<u>FIGURE 1</u>. THE SUBJECT PROPERTY AT 304 SHAMROCK CIRCLE.

2,261 SF of artificial turf within the rear and side yard of the subject property [see Figure 1]. According to Subsection 02.02, *Exceptions to the Landscaping Standards*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(t)he Planning and Zoning Commission may grant an exception to the landscaping standards contained in this Article *[i.e. Article 08; UDC]* upon a finding that the resulting landscaping or Landscaping Plan will be equivalent to or exceed the requirements stipulated by this Article, and provide an improvement to the aesthetics of the surrounding area." In addition, in accordance with Subsection 09.01, Exceptions to the General Standards, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), variances and exceptions shall be reviewed on a case by case basis and shall require a "...supermajority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval." Staff should note that there is ten (10) foot utility easements along the rear of the subject property. According to Section 4.02, *Coverage*, of Chapter 4, *Vegetation*, of the Engineering Standards of Design and Construction, "(n)o artificial grass is allowed in any City right-of-way and/or easements." Given this, the applicant will be required to remove all of the artificial turf located within this utility easement. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff will be available at the meeting on *March 25, 2025*.

PROJECT COMMENTS



DATE: 3/21/2025

PROJECT NUMBER:	MIS2025-006
PROJECT NAME:	Exception for Artificial Turf at 304 Shamrock Circle
SITE ADDRESS/LOCATIONS:	304 SHAMROCK CIR

CASE CAPTION: Discuss and consider a request by Daniel Melendez for the approval of a Miscellaneous Request for an Exception to allow synthetic plant materials on a 0.1230-acre parcel of land identified as Lot 12, Block A, Chandlers Landing, Phase 14, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 23-40], addressed as 304 Shamrock Circle, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments	
03/20/2025: 1. No artificial gras	ss/turf in easements.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	03/20/2025	Approved w/ Comments	
03/20/2025: TURF IS NOT ALL	OWED IN UTILITY EASEMENTS OR ACROS	S THEIR PROPERTY LINE		
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	03/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	03/17/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	03/17/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	03/17/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Henry Lee	03/21/2025	Approved w/ Comments	

1.1 This is a request for the approval of a Miscellaneous Case for an Exception to allow synthetic plant materials on a 0.1230-acre parcel of land identified as Lot 12, Block A, Chandlers Landing, Phase 14, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) (Ordinance No. 23-40), addressed as 304 Shamrock Circle.

1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434, or email hlee@rockwall.com.

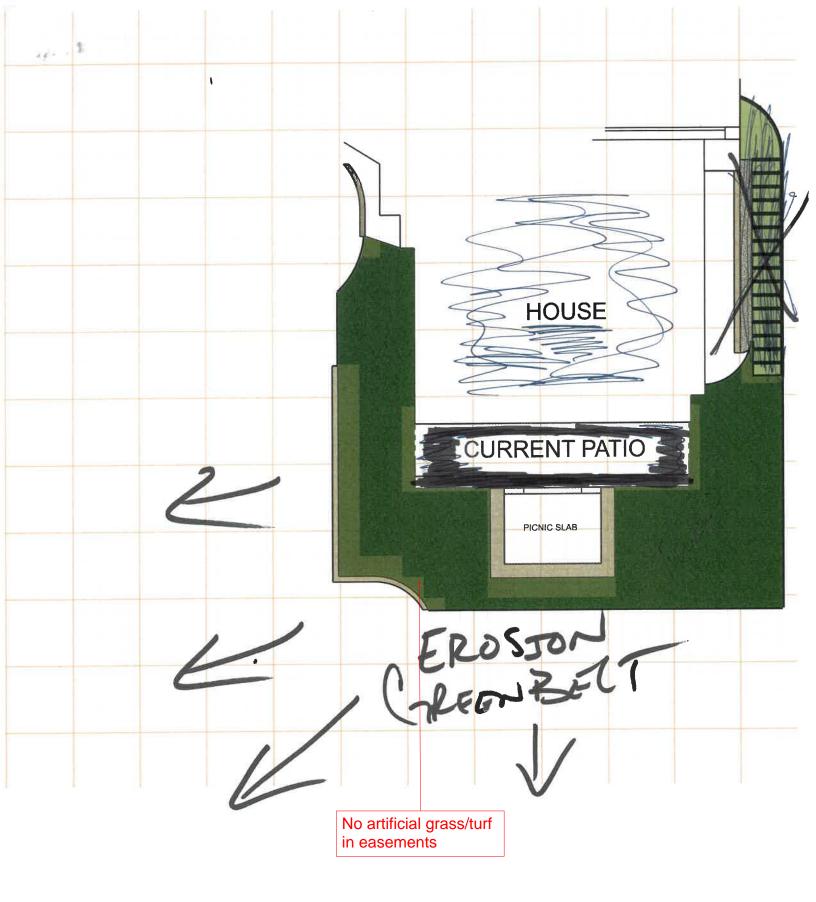
I.3 According to Section 4(B), Prohibited Planting Materials, of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC), "(a)rtificial or synthetic plant materials (e.g. artificial grass, turf, trees, and/or shrubs) shall be prohibited on all residentially zoned or used property in: (1) the required front yard (i.e. the area that extends from the front property line to the front façade of the primary structure); (2) in areas of the required side or rear yard that are visible from public right-of-way, open space, or public parkland; (3) in public rights-of-way; and (4) in easements; however, a maximum of 400 square feet of non-PFAS (i.e. Perfluorinated Alkylated Substances) artificial grass or turf shall be permitted in the rear yard of all residentially zoned or used property regardless of visibility or screening." In this case, you are requesting an exception to items (2) and (4) listed above, due to the artificial turf being visible from open space in the side yard and there being greater than 400 SF in the rear yard.

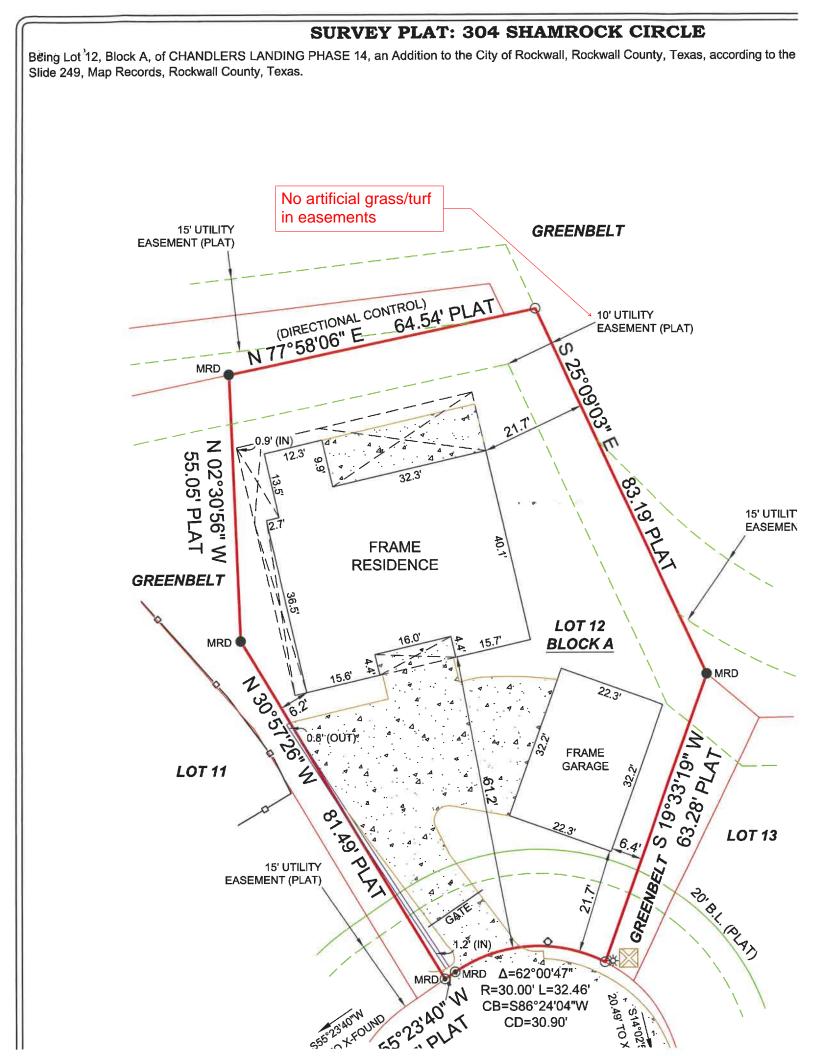
M.4 According to Section 4.02, Coverage, of Chapter 4, Vegetation, of the Engineering Standards of Design and Construction, "(n)o artificial grass is allowed in any City right-of-way and/or easements." In this case, the artificial turf that has been installed in the easement at the rear of the property must be removed.

I.5 Please note the scheduled meeting for this case:

1) Planning & Zoning meeting will be held on March 25, 2025 at 6:00 PM in the council chambers at City Hall.

1.6 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request.



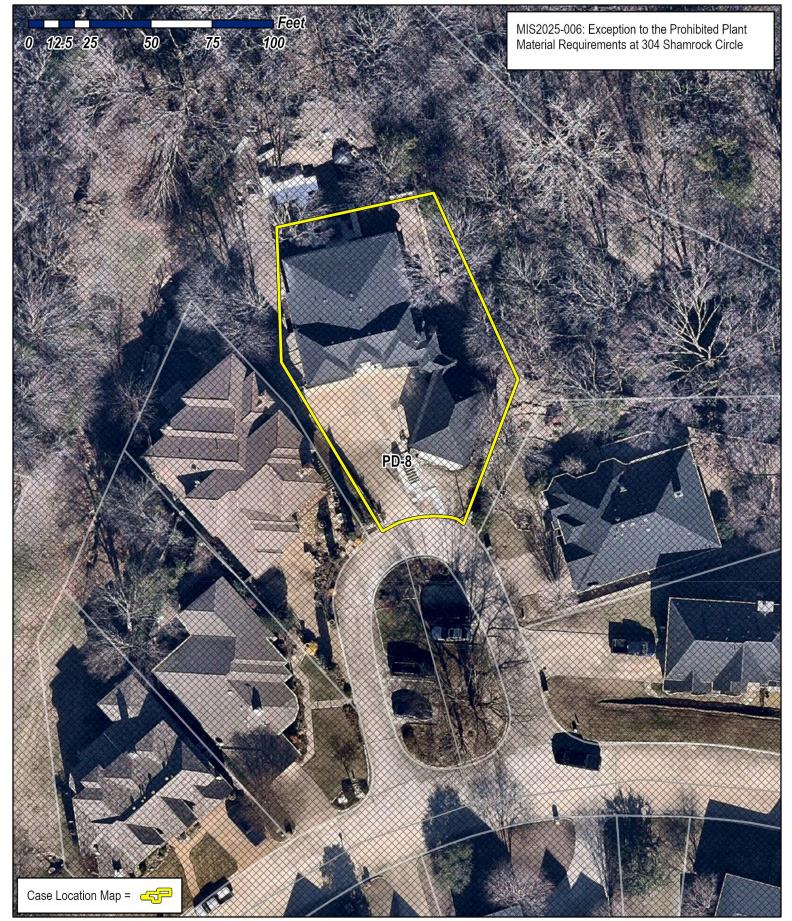


DEVELOPMENT APPLICAT City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087	NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:		
PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DI PLATTING APPLICATION FEES: MASTER PLAT (\$100.00 + \$15.00 ACRE) 1 PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1 FINAL PLAT (\$300.00 + \$20.00 ACRE) 1 REPLAT (\$300.00 + \$20.00 ACRE) 1 AMENDING OR MINOR PLAT (\$150.00) PLAT REINSTATEMENT REQUEST (\$100.00) SITE PLAN (\$250.00 + \$20.00 ACRE) 1 AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)	EVELOPMENT REQUEST [SELECT ONLY ONE BOX]: ZONING APPLICATION FEES: ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1 SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 OTHER APPLICATION FEES: TREE REMOVAL (\$75.00) VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2 NOTES: *: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. *: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.		
PROPERTY INFORMATION [PLEASE PRINT]			
ADDRESS 304 SHAMROCIL C	JR		
SUBDIVISION CHANDLERS LANDIN	GHIH LOT 12 BLOCK A		
GENERAL LOCATION PROPERTY ID: 1529	71; CITY of Rockwall, Rockwar		
GENERAL LOCATION PROPERTY JD: 15291; CITY of ROCKWALL, ROCK ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT] CURRENT ZONING RESTORNTION (PLEASE PRINT) CURRENT USE PLAY AREA FOR CHICDREN			
CURRENT ZONING RESIDENT M PROPOSED ZONING RESIDENT M ACREAGE	CURRENT USE Play AREA FOR CHICDREN, PROPOSED USE Play AREA FOR CHICDREN, GRASS LOTS [PROPOSED]		

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

U OWNER		APPLICANT	
CONTACT PERSON	DANJEL MELENDEZ	CONTACT PERSON	
ADDRESS	304 SHAMROCK COR	ADDRESS	
CITY, STATE & ZIP	Rockwall, TR 7503	CITY, STATE & ZIP	
	469-818-9,39	PHONE	
E-MAIL	DMQ \$64 @outlook	. com E-MAIL	
NOTARY VERIFI BEFORE ME, THE UNDE STATED THE INFORMAT	CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARE ION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THIS I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, A TO COVER THE COST OF THIS APPLICATION. H	ED PANIC Mele E FOLLOWING: ALL INFORMATION SUBMITT	TED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF
INFORMATION CONTAINE SUBMITTED IN CONJUNC	D WITHIN THIS APPLICATION, I AGR TION WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS TION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASS	S ALSO AUTHORIZED AND	CKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE D PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION TO A REQUEST FOR PUBLIC INFORMATION."
	O AND SEAL OF OFFICE ON THIS THE LA DAY OF Ma OWNER'S SIGNATURE	rch 2025	COLIN BRUNK COLIN BRUNK Notary Public, State of Teas N MP Currim, Exp. 12-10-2028 ID No. 13519925-6
D	EVELOPMENT APPLICATION • CITY OF ROCKWALL • 385 S	OUTH GOLIAD STREET •	ROCKWAL\$ <mark>,99999999999999999999999900000000</mark>





City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



304 SHAMROCK CM

Top 5 Reasons for implementing Artificial Turf:

1) Erosion prevention

.

a.:

a. Given the rainfall and type of soil, erosion had been significant and ultimately would have caused structural damage to the home

2) Sustain a suitable play area for our children

a. Given natural grass could not grow, the area was immersed with mud and in turn, causing an unsafe area for children to play

3) Sustain a leveled landscape

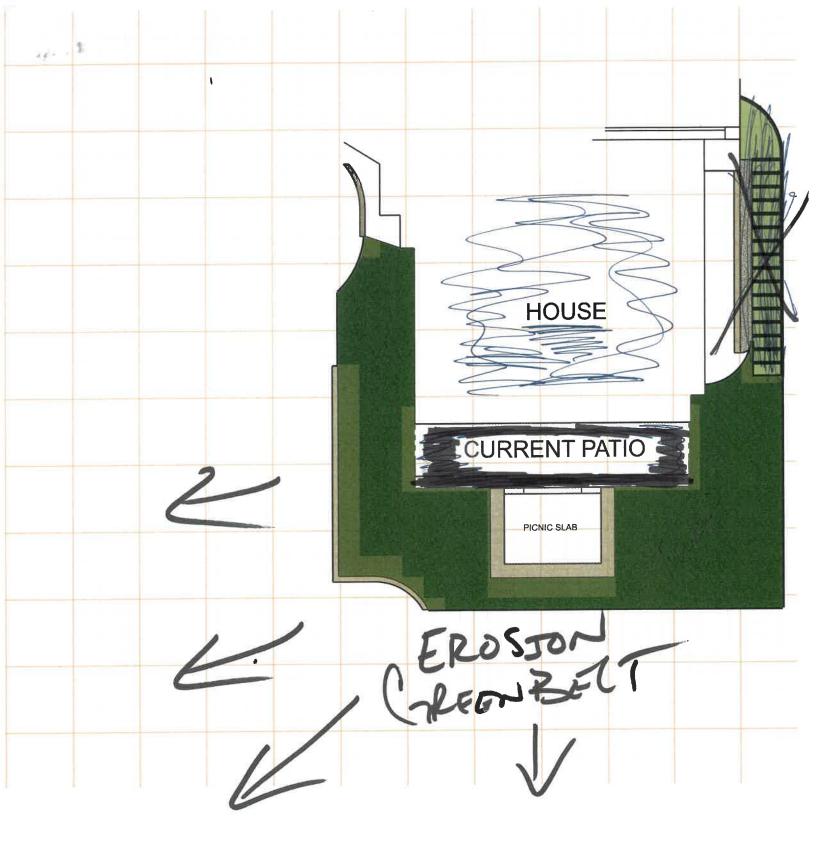
a. Given the rainfall and erosion, the landscape was unleveled and in turn, caused an unsafe environment for children to play

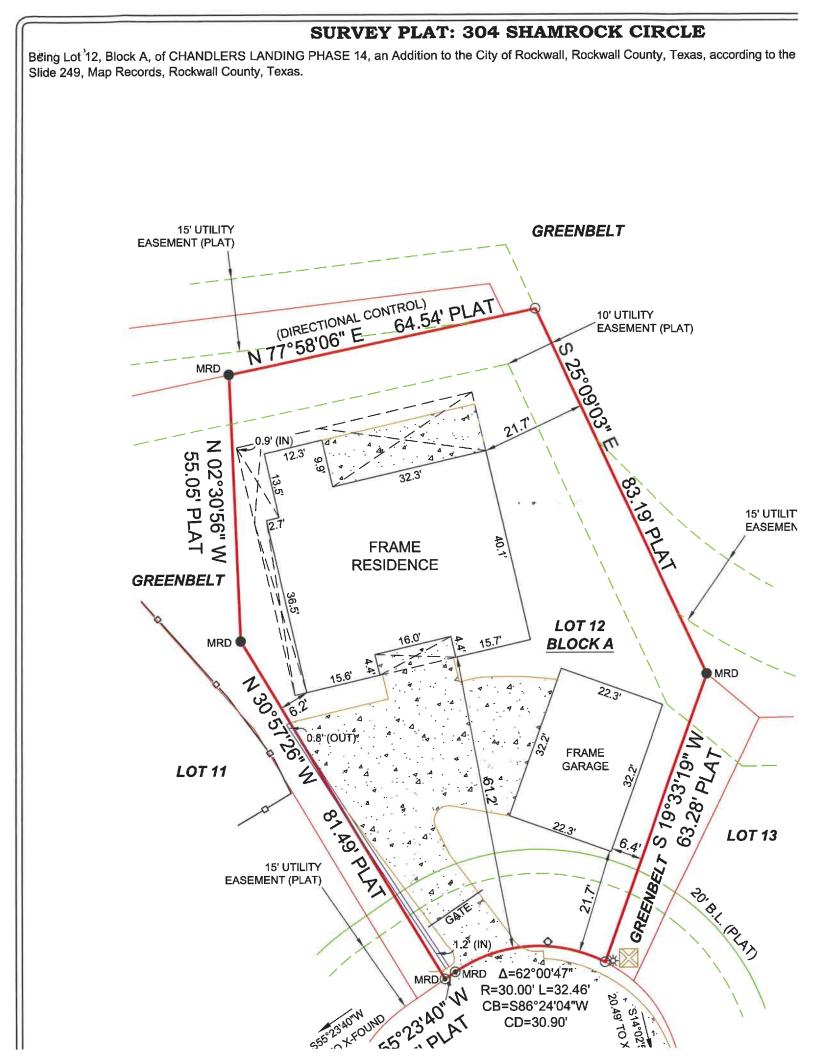
4) Medical

a. Allergies

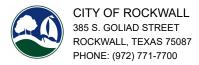
5) Sustain/maintain an aesthetically pleasing looking backyard

a. Given natural grass could not grow, the area was immersed with mud





PROJECT COMMENTS



DATE: 3/20/2025

PROJECT NUMBER:	Z2025-012
PROJECT NAME:	SUP for Residential Infill at 614 Boydstun Avenue
SITE ADDRESS/LOCATIONS:	614 E BOYDSTUN AVE

CASE CAPTION: Hold a public hearing to discuss and consider a request by David Gamez for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 614 E. Boydstun Avenue, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Angelica Guevara	03/20/2025	Approved w/ Comments	

03/20/2025: Z2025-012; Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 614 Boydstun Avenue Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 614 E. Boydstun Avenue.

1.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2025-012) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is the adjacent to the B.F. Boydstun Subdivision which has been in existence for more than ten (10) years, consists of 112 lots, and is considered to be more than 90% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

1.6 According to Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), development in a Single-Family 7 (SF-7) District calls for the following:

- The minimum length of driveway pavement from public right-of-way for rear and side yard is 20-feet.
- An enclosed garage shall not be considered in meeting the off-street parking requirements.

• A two (2) car garage is required.

In this case, the applicant is proposing to have a carport that is architecturally integrated with the primary structure. However, this will have to be replaced by a two (2) car garage.

I.7 According to Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), development in a Single-Family 7 (SF-7) District calls for a side setback of six (6) feet. In this case, the site plan provided shows a side setback of only five (5) feet. This will need to be corrected.

1.8 Garage Requirements. Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the home does not incorporate an enclosed garage, only a carport. This will need to be changed on the elevations.

M.9 Ordinances. Please review the attached draft ordinance prior to the April 15, 2025 Planning & Zoning Commission meeting, and provide staff with your markups by April 1, 2025.

I.10 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 1, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 15, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.11 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on March 25, 2025, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on April 15, 2025.

1.12 City Council Meeting Dates. The projected City Council meeting dates for this case will be April 21, 2025 (1st Reading) and May 5, 2025 (2nd Reading).

I.13 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments

03/20/2025: 1. Need variance on driveway spacing (requires min. 100' between driveways)

General Items:

- Must meet City's 2023 Standards of Design and Construction
- Impact Fees (Water, Wastewater & Roadway)
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- Will need to show A/C concrete pad and also any proposed fencing on the lot with Building Permit.
- Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.
- Will need to show how proposed home will be accessing utilities.
- There is an existing 8" sewer main along E Boydstun Ave availabe for use.
- There is an existing 12" water main on the other side of E Boydstun Ave available for use.
- Water and sanitary sewer and storm sewer must be 10' apart.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- Driveway must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No gravel or asphalt allowed in any area.
- Additional comments may be provided at time of Building Permit.

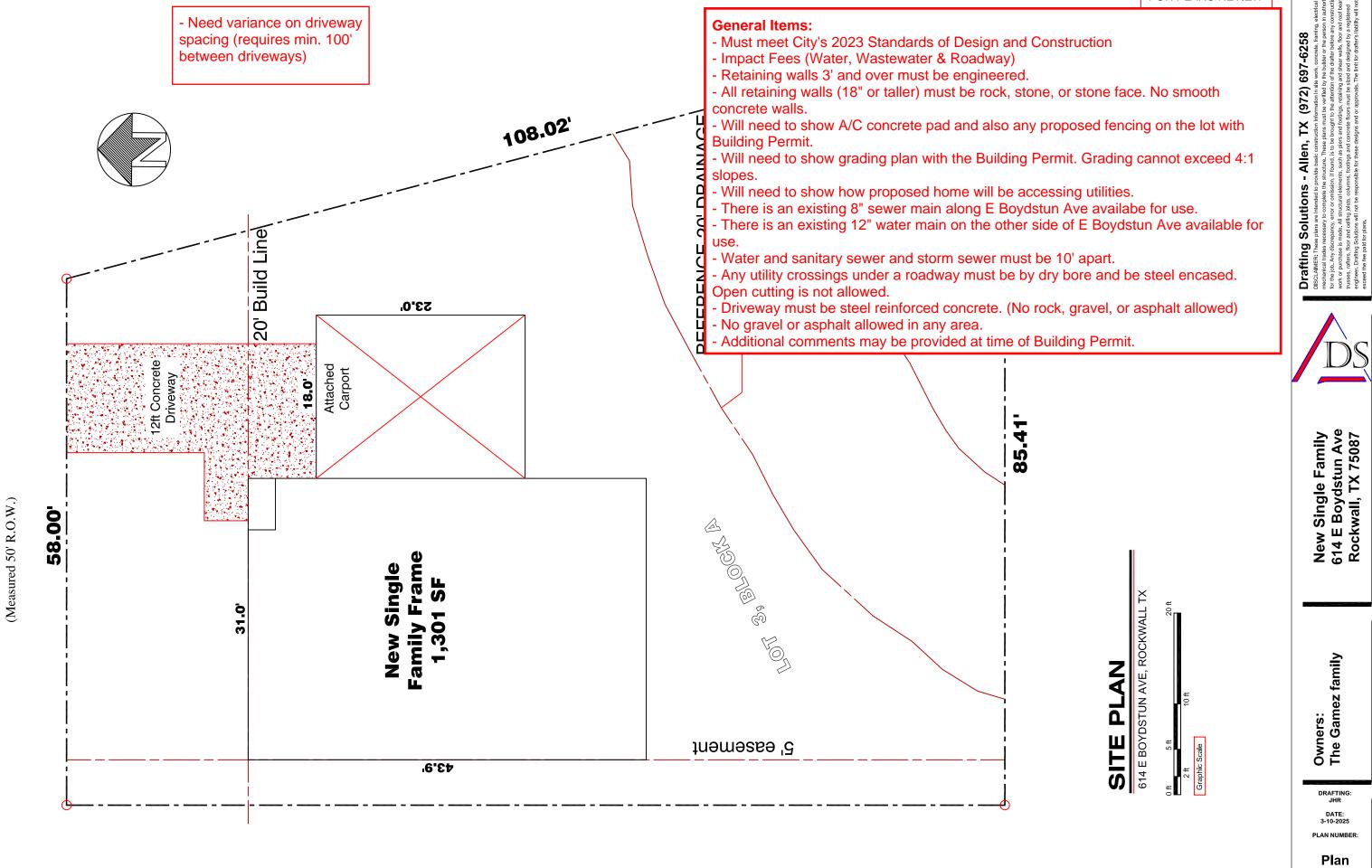
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/20/2025	Needs Review

03/20/2025: * 6' SIDE SETBACK REQUIRED

* CARPORT NEEDS TO BE SETBACK 20' FEET BEHIND THE FRONT CORNER OF THE HOUSE AND ARCHITECTURALLY INTEGRATED INTO HOUSE

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	03/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	03/17/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	03/17/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	03/17/2025	Approved	
No Commonts				

No Comments

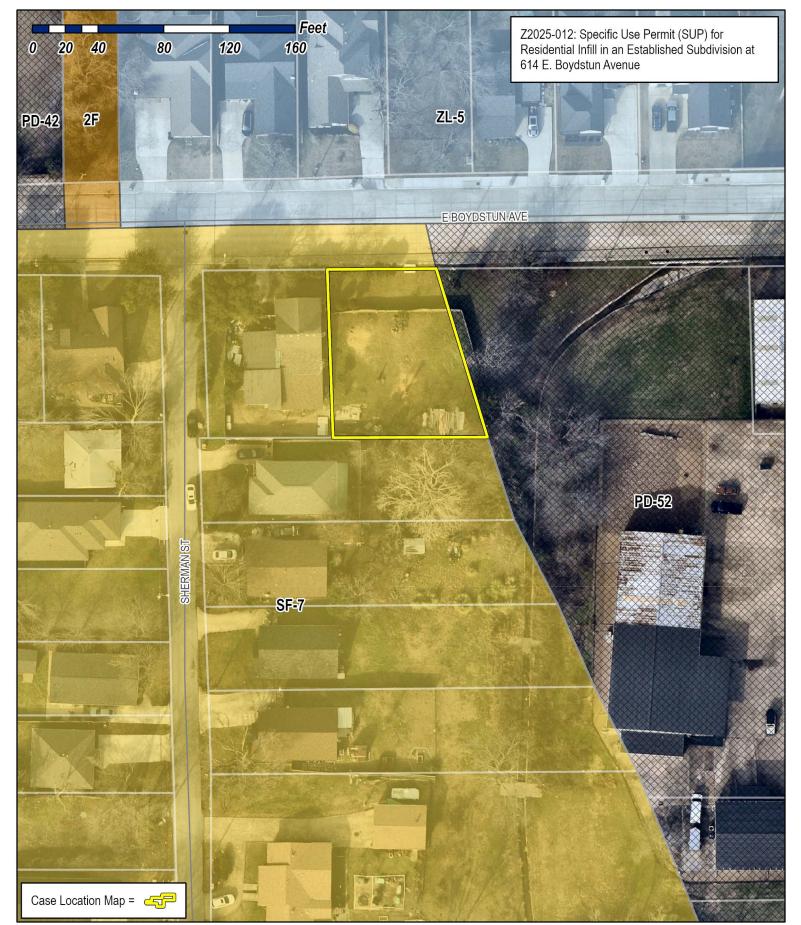


BOYDSTUN AVENUE (Measured 50' R.O.W.)

FOR PLANS REVIEW

A0.1

DEVELOPMENT APPLICATION City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087	NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:		
□ MASTER PLAT (\$100.00 + \$15.00 ACRE) 1 □ □ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1 □ □ FINAL PLAT (\$300.00 + \$20.00 ACRE) 1 □ □ REPLAT (\$300.00 + \$20.00 ACRE) 1 □ □ REPLAT (\$300.00 + \$20.00 ACRE) 1 □ □ AMENDING OR MINOR PLAT (\$150.00) □ □ PLAT REINSTATEMENT REQUEST (\$100.00) □ SITE PLAN APPLICATION FEES: 100.00 □ SITE PLAN (\$250.00 + \$20.00 ACRE) 1 □ □ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00) 100.00	LOPMENT REQUEST [SELECT ONLY ONE BOX]: ONING APPLICATION FEES: 2 ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1 TSPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 THER APPLICATION FEES: 1 TREE REMOVAL (\$75.00) 1 VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2 DTES: N DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE RE ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. A <u>\$1,000.00</u> FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT VOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING RMT.		
ADDRESS 614 2 BOYDSTON SUBDIVISION BLOCK A OF R. Gell'S S GENERAL LOCATION NEW Replat Next to 6	ROCKANTX 75087 Ubdivision LOT 3 BLOCK A		
ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT] CURRENT ZONING SF-7 CU	RRENT USE SF-7 POSED USE		
SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE. OWNER/APPLICANT/AGENT INFORMATION IPLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED] YOWNER ORVIO GAMEZ			
CONTACT PERSON ADDRESS 614 E BOYDSTON CITY, STATE & ZIP ROCKALL TY 7508 FOITY, ST	T PERSON ADDRESS		
PHONE 972-619-6035 E-MAIL 36045inschool egral com NOTARY VERIFICATION [REQUIRED]	PHONE C E-MAIL		
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWIN "I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMA "I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMA "I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMA "I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMA "I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMA "I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMA "I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, IA BEEN PAR PURPOSE OF THIS APPLICATION TO THE PURPOSE OF THIS APPLICATION, IA BEEN PAR SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OF GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE DAY OF OWNER'S SIGNATURE NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS DEVELOPMENT APPLICATION - CITY OF ROCKWALL - 385 SOUTH GO	NG: ATION SUBMITTED HEREIN IS TRUE AND CORRECT: AND THE APPLICATION FEE OF ID TO THE CITY OF ROCKWALL ON THIS THE DIA OF THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE HORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION RIN RESPONSE TO A REQUEST FOR OBJOINT ON MINIMUM 2025. 2025. MY COMMISSION EXPIRES 12-08-2028 MY COMMISSION EXPIRES 12-08-2028		

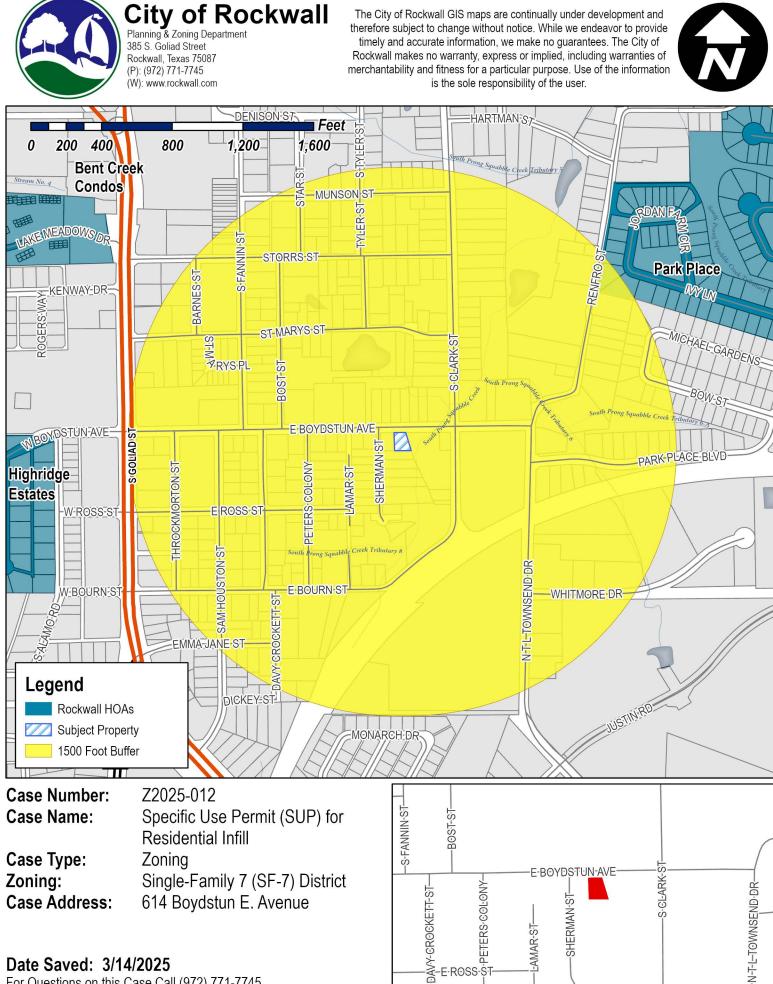




City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

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For Questions on this Case Call (972) 771-7745

From:	Zavala, Melanie
Cc:	Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica
Subject:	Neighborhood Notification Program [Z2025-012]
Date:	Wednesday, March 19, 2025 9:31:56 AM
Attachments:	HOA Map (03.19.2025).pdf Public Notice (03.17.2025).pdf

HOA/Neighborhood Association Representative:

Per your participation in the <u>Neighborhood Notification Program</u>, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on <u>Friday, March 21, 2025</u>. The Planning and Zoning Commission will hold a public hearing on <u>Tuesday, April 15, 2025 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, April 21, 2025 at 6:00 PM</u>. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to <u>Planning@rockwall.com</u> at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <u>https://sites.google.com/site/rockwallplanning/development/development-cases.</u>

Z2025-012: Specific Use Permit (SUP) for a Residential Infill

Hold a public hearing to discuss and consider a request by David Gamez for the approval of a <u>Specific Use</u> <u>Permit (SUP)</u> for Residential Infill in an Established Subdivision on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 614 E. Boydstun Avenue, and take any action necessary.

Thank you,

Melanie Javala Planning & Zoning Coordinator | Planning Dept.| City of Rockwall 385 S. Goliad Street | Rockwall, TX 75087 <u>Planning & Zoning Rockwall</u> 972-771-7745 Ext. 6568

City of Rockwall Planning & Zoning Department 385 S. Goliad Street The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of Rockwall, Texas 75087 merchantability and fitness for a particular purpose. Use of the information (P): (972) 771-7745 (W): www.rockwall.com is the sole responsibility of the user. Feet 320 MARYS ST 480 0-80-160 640 BOST ST E BOYDSTUN AVE SHERMAN ST S CLARK ST LAMAR ST DAVY CROCKETT ST COLONY ND DR EROSSIST PETERS N T L TOWNSE Legend Subject Property 500 Foot Buffer Notified Properties

Case Number:Z2025-012Case Name:Specific Use Permit (SUP) for
Residential InfillCase Type:ZoningZoning:Single-Family 7 (SF-7) District
614 Boydstun Avenue

(SF-7) District

-N-T-L-TOWNSEND.DR-RENER

BOST-ST-

Date Saved: 3/14/2025

For Questions on this Case Call: (972) 771-7745

JOHNSON PAMELA 1310 COLONY DR GARLAND, TX 75040

HOGUE MIKE & VICKY 1498 HUBBARD DR FORNEY, TX 75126

BALL JUSTIN 2155 CLUBVIEW DR ROCKWALL, TX 75087

CRP/TH SFR PROGRAM TX OWNER LP 2875 W RAY RD CHANDLER, AZ 85224

> GRUBBS JOHN W 501 E BOYDSTUN AVE ROCKWALL, TX 75087

> RESIDENT 602 S CLARK ST ROCKWALL, TX 75087

> RESIDENT 604 S CLARK ST ROCKWALL, TX 75087

> CASTILLO JUAN JAIME 605 S CLARK ST ROCKWALL, TX 75087

> RESIDENT 606 S CLARK ST ROCKWALL, TX 75087

RESIDENT 607 S CLARK ST ROCKWALL, TX 75087 RSR CAPITAL LLC 1321 CRESENT COVE DRIVE ROCKWALL, TX 75087

PIERATT ALAN & MELODY 1540 MEADOWS CIR ROCKWALL, TX 75087

BENSLEY MARCO AND DARBY KATHRYN 2255 GARDEN CREST DR ROCKWALL, TX 75087

> BOSS MORRIS E AND DEBRA K BOSS 408 RIDGEVIEW ROCKWALL, TX 75087

RESIDENT 507 E BOYDSTUN AVE ROCKWALL, TX 75087

RESIDENT 604 E BOYDSTUN AVE ROCKWALL, TX 75087

GENTRY GENEVA 605 BOST ST ROCKWALL, TX 75087

RESIDENT 606 ROSS ROCKWALL, TX 75087

WILKERSON CLAUDE JR 606 SAINT MARY ST ROCKWALL, TX 75087

RESIDENT 608 ST MARYS ST ROCKWALL, TX 75087 GROOVYS BUSINESS PROPERTIES, LLC - SERIES 602 S CLARK 143 STONELEIGH DRIVE HEATH, TX 75032

> HERNANDEZ ROSA ALBA 2040 SHERWOOD DR GARLAND, TX 75041

DENSON PATRICIA STRANGE 2521 LOUDON ST W ROCKWALL, TX 75032

COCHRAN LIVING TRUST JOE B COCHRAN & SANDRA COCHRAN -TRUSTEES 4405 VIA DEL NORTE MESQUITE, TX 75150

> NIX ROSALIA 602 E BOYDSTUN AVE ROCKWALL, TX 75087

CAMELI CHAZ CRISTIAN NECOLA & LAUREN 604 E ROSS ST ROCKWALL, TX 75087

> KRONLAGE HOLLIE 605 E ROSS STREET ROCKWALL, TX 75087

RESIDENT 606 E BOYDSTUN AVE ROCKWALL, TX 75087

RESIDENT 607 E BOYDSTUN AVE ROCKWALL, TX 75087

RESIDENT 608 E BOYDSTUN AVE ROCKWALL, TX 75087 HUBBARD ALPHINEEZES 609 E ROSS ST ROCKWALL, TX 75087

FARRELL KIMBERLY A 610 SAINT MARY ST ROCKWALL, TX 75087

GAMEZ DAVID 614 E BOYDSTUN AVE ROCKWALL, TX 75087

KENNEDY BLAKE 619 E Boydstun Ave Rockwall, TX 75087

KAUFMANN PROPERTIES LLC % DOUGLAS A KAUFMANN 627 SORITA CIR HEATH, TX 75032

> RESIDENT 703 SHERMAN ROCKWALL, TX 75087

SCROGGINS MURRAY 704 SHERMAN ST ROCKWALL, TX 75087

ANDUJAR AMY ELIZABETH MAYER 705 PETERS COLONY ROCKWALL, TX 75087

> RESIDENT 707 S CLARK ROCKWALL, TX 75087

MURPHREE LYNDI LOUISE & CAMERON JUSTIN LEE 709 PETERS COLONY ROCKWALL, TX 75087 SCHUMANN LAURIE A 610 E BOYDSTUN AVE ROCKWALL, TX 75087

SMITH CHARLES ELLIOT 611 E BOYDSTUN AVE ROCKWALL, TX

WOOD JORDAN AND ERIN 615 E BOYDSTUN AVENUE ROCKWALL, TX 75032

RANDOLPH JAMES R JR 621 E. BOYDSTUN AVE ROCKWALL, TX 75087

TALARICO CHRISTOPHER AND JUSTIN 633 STILLMEADOW DR RICHARDSON, TX 75081

> RESIDENT 703 E BOYSTUN AVE ROCKWALL, TX 75087

RESIDENT 705 E BOYDSTUN AVE ROCKWALL, TX 75087

RESIDENT 706 SHERMAN ST ROCKWALL, TX 75087

ABARCA JOANNE 707 SHERMAN ST ROCKWALL, TX 75087

SMITH PAMELA K 709 SHERMAN STREET ROCKWALL, TX 75087 RESIDENT 610 S CLARK ST ROCKWALL, TX 75087

CARPENTER KATHRYN ANN 613 E BOYDSTUN AVE ROCKWALL, TX 75087

> RESIDENT 617 E BOYDSTUN AVE ROCKWALL, TX 75087

DITO JAAP & ESTHER 627 E Boydstun Ave Rockwall, TX 75087

RESIDENT 702 S CLARK ST ROCKWALL, TX 75087

EBY JENNIFER 703 PETERS COLONY ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D 705 N SHERMAN ROCKWALL, TX 75087

> RESIDENT 706 S CLARK ST ROCKWALL, TX 75087

> RESIDENT 708 SHERMAN ST ROCKWALL, TX 75087

SANCHEZ FATIMA L 710 SHERMAN ST ROCKWALL, TX 75087

ALLEN ETHEL JEAN 711 SHERMAN ST ROCKWALL, TX 75087

RESIDENT 713 SHERMAN ST ROCKWALL, TX 75087

CABRERA JUAN R & NOEMI E **715 PETERS COLONY** ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL DISTRICT PUBLIC FACILITY CORP **801 E WASHINGTON ST** ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC 880 SHORES BLVD ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD ATTN: ACCOUNTS PAYABLE SUITE 300 200 MERIDIAN CENTRE BLVD ROCHESTER, NY 14618

RESIDENT 712 CLARK ST ROCKWALL, TX 75087

RESIDENT 714 SHERMAN ST ROCKWALL, TX 75087

RESIDENT 716 SHERMAN ST ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE 801 LAMAR ST ROCKWALL, TX 75087

HILLMAN HOUSING LLC

9706 HEARTSTONE LANE

ROCKWALL, TX 75087

RICHARD EXPO 820 E HEATH ST ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY PO BOX 4 ROCKWALL, TX 75087

RESIDENT 715 SHERMAN ST ROCKWALL, TX 75087

RESIDENT

725 PETERS COLONY

ROCKWALL, TX 75087

RESIDENT

712 SHERMAN ST

ROCKWALL, TX 75087

PUBLIC NOTICE

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-012: Specific Use Permit (SUP) for a Residential Infill

Hold a public hearing to discuss and consider a request by David Gamez for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 614 E. Boydstun Avenue, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>*Tuesday, April 15, 2025 at 6:00 PM</u></u>, and the City Council will hold a public hearing on <u><i>Monday, April 21,2025 at 6:00 PM*</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.</u>

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

- - PLEASE RETURN THE BELOW FORM

Case No. Z2025-012: Specific Use Permit (SUP) for a Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

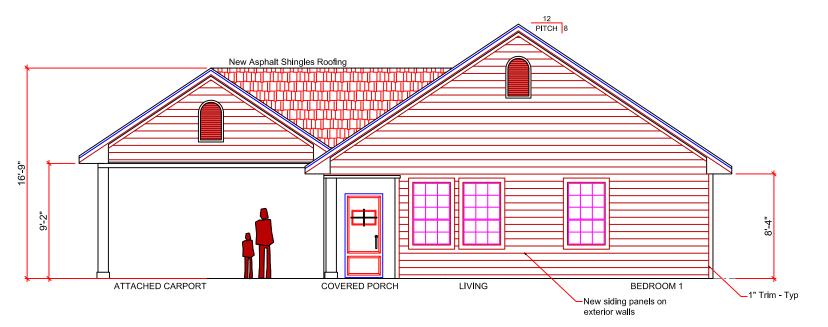
I am opposed to the request for the reasons listed below.

Name:

Address:

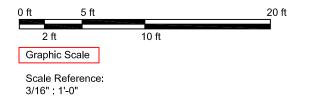
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

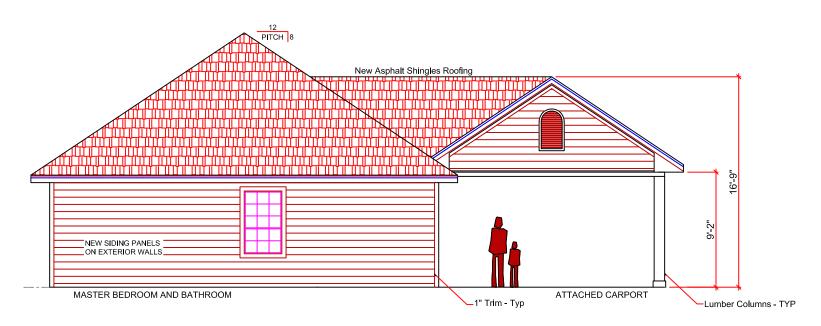
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



North (Front) Elevation

614 E BOYDSTUN AVE, ROCKWALL TX

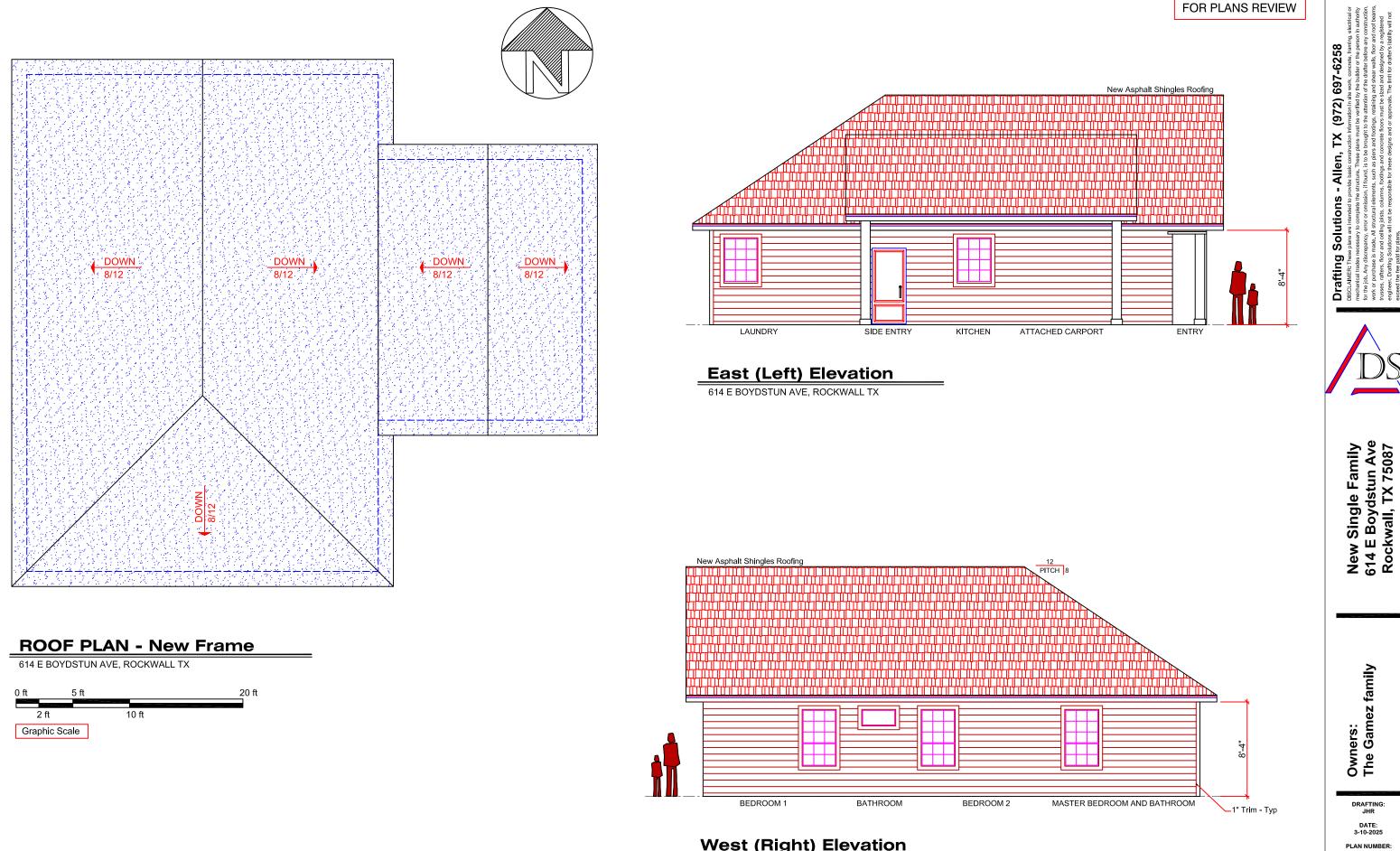




South (Back) Elevation

614 E BOYDSTUN AVE, ROCKWALL TX

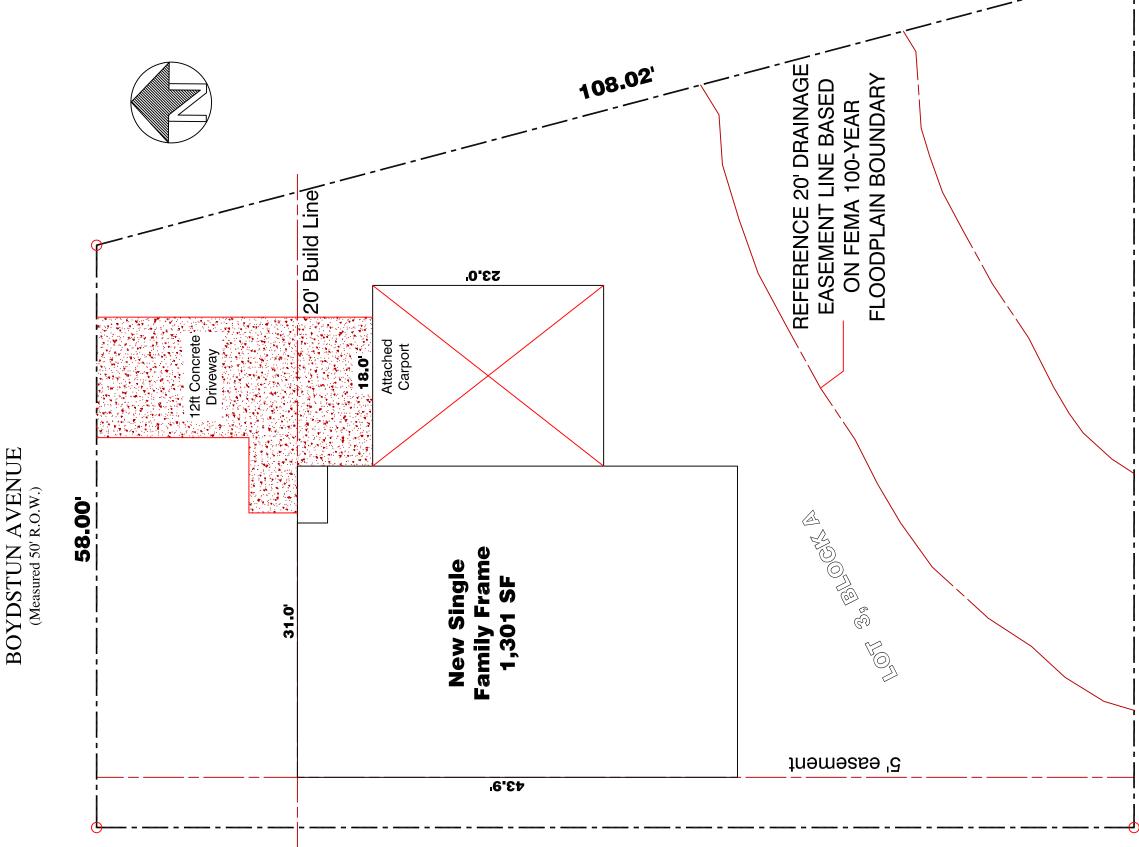




West (Right) Elevation

614 E BOYDSTUN AVE, ROCKWALL TX

Plan

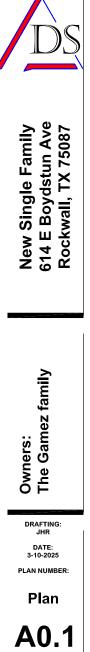




PLAN SITE

614 E BOYDSTUN AVE, ROCKWALL TX

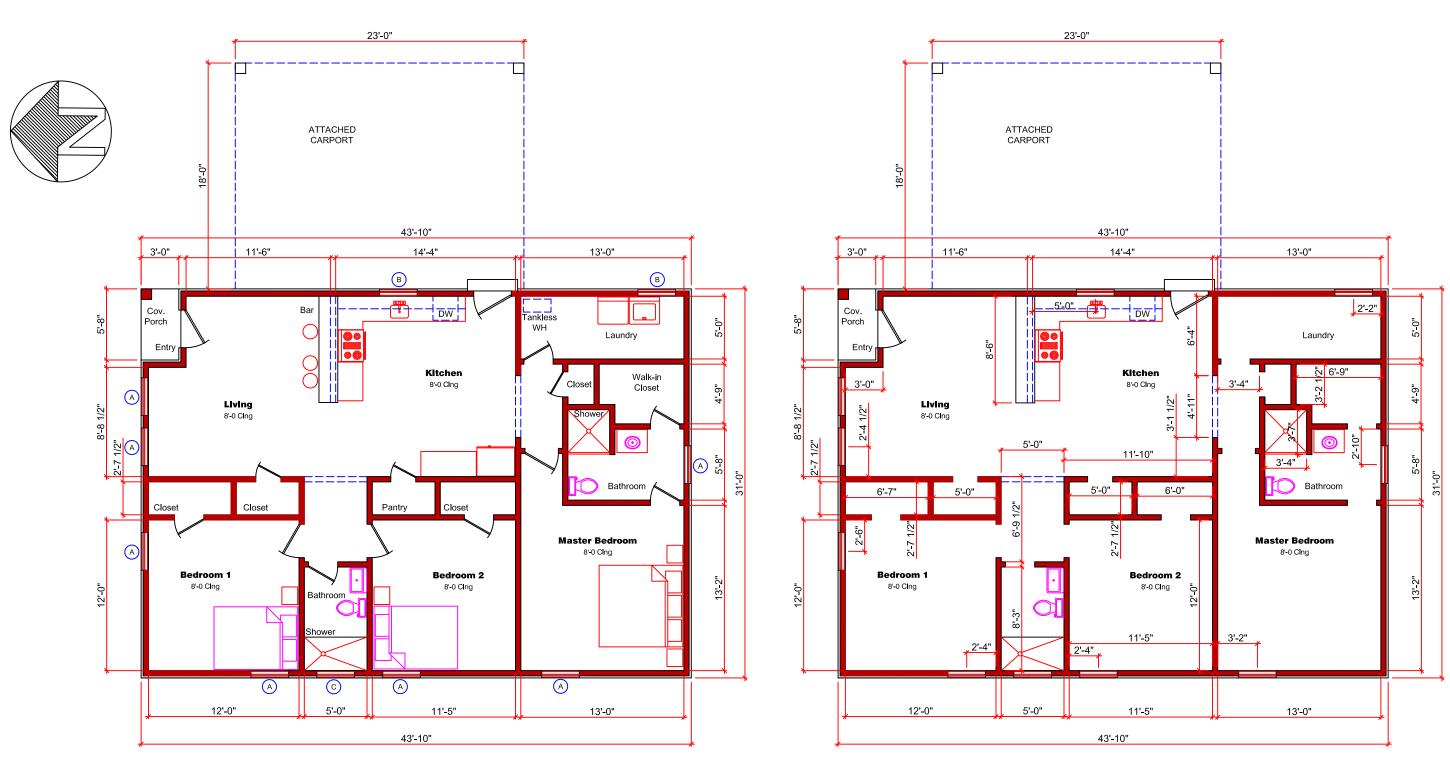


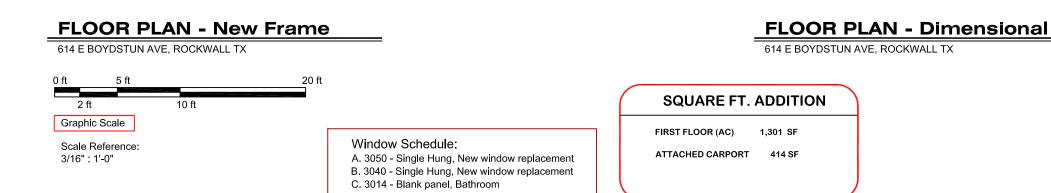


Drafting Solutions - Allen, TX (972) 697-6258

de basic construction information in site work, concrete, framing, electrical or ucture. These plans must be verified by the bulder or the person in authority. Yourd, is to be brought to the attention of the drafter before any construction, as such as pies and coorting, retaining and shear walls, floor and roof beams, coordings and concrete floors must be sized and designed by a registered be for these designs and or approvals. The limit for drafter's liability will not

FOR PLANS REVIEW





FOR PLANS REVIEW



Drafting Solutions - Allen, TX (972) 697-6258

ISCLAMER: These plans are intended to provide basic construction information in site work, concrete, framing, electrical or rechanical trades necessary to complete the structure. These plans must be wertled by the builder or the person in authority or the join. Any discrepancy, error or omission, if found, is to be brought to the attention of the drafter before any construction, dro for purchase index, all structureal elements, such as plers and footings, relating and shear wals, floor and rob bears, usses, ratters, floor and ceiling joists, columns, footings and concrete floors must be sized and designed by a registreed agrees. Drafting Solutors will not be responsible for these designs and or approvals. The limit for drafter's liability will not acceed the learning for clans.

New Single Family 614 E Boydstun Ave Rockwall, TX 75087

Owners: The Gamez family

DRAFTING: JHR DATE: 3-10-2025

PLAN NUMBER:

Plan



CITY OF ROCKWALL

ORDINANCE NO. <u>25-XX</u>

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.17-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 3, BLOCK A, GAMEZ ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by David Gamez for the approval of a <u>Specific Use</u> <u>Permit (SUP)</u> for <u>Residential Infill in an Established Subdivision</u> for the purpose of constructing a single-family home on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 614 Boydstun Avenue, and being more specifically described and depicted in <u>Exhibit</u> 'A' of this ordinance, which herein after shall be referred to as the <u>Subject Property</u> and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and

with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the <u>Residential Plot Plan</u> as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit* 'C' of this ordinance.
- Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

 Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11, Development Applications and Revision Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 5th DAY OF MAY, 2025.

		Trace Johannesen, Mayor
ATTEST:		
ATTEST.		
	_	
Kristy Teague, City Secret	tary	
APPROVED AS TO FOR	VI:	
Frank J. Garza, City Attorn	ney	
1 st Reading: <u>April 21, 202</u>	<u>25</u>	
2 nd Reading: <u>May 5, 2025</u>	5	

Exhibit 'A': Location Map

Address: 614 Boydstun Avenue

Legal Description: Lot 3, Block A, Gamez Addition

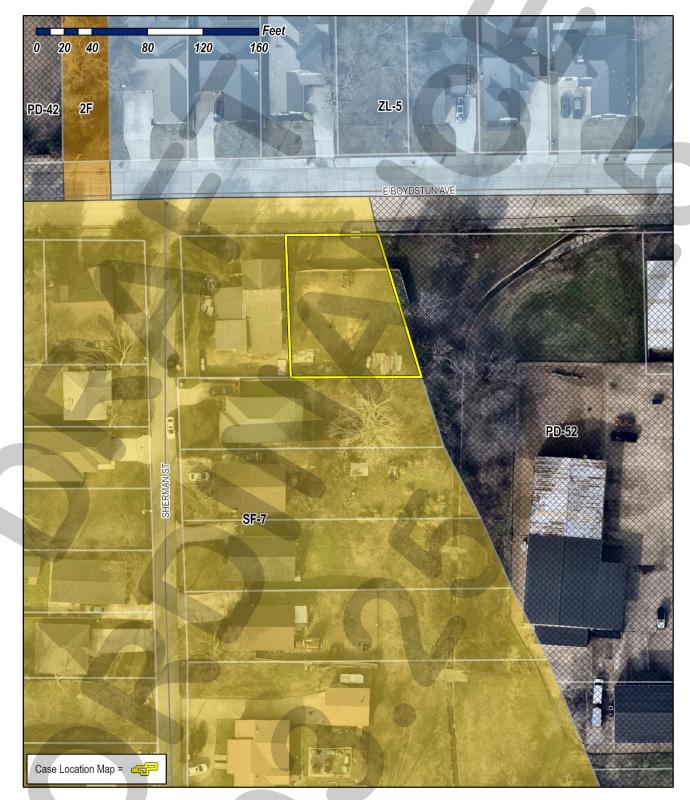
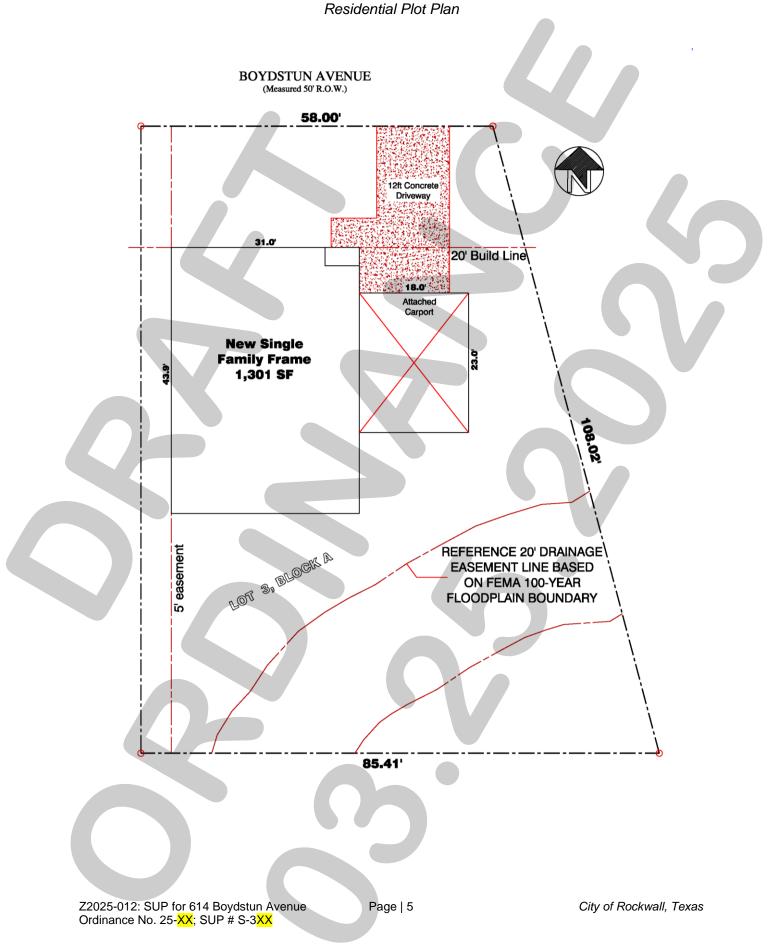
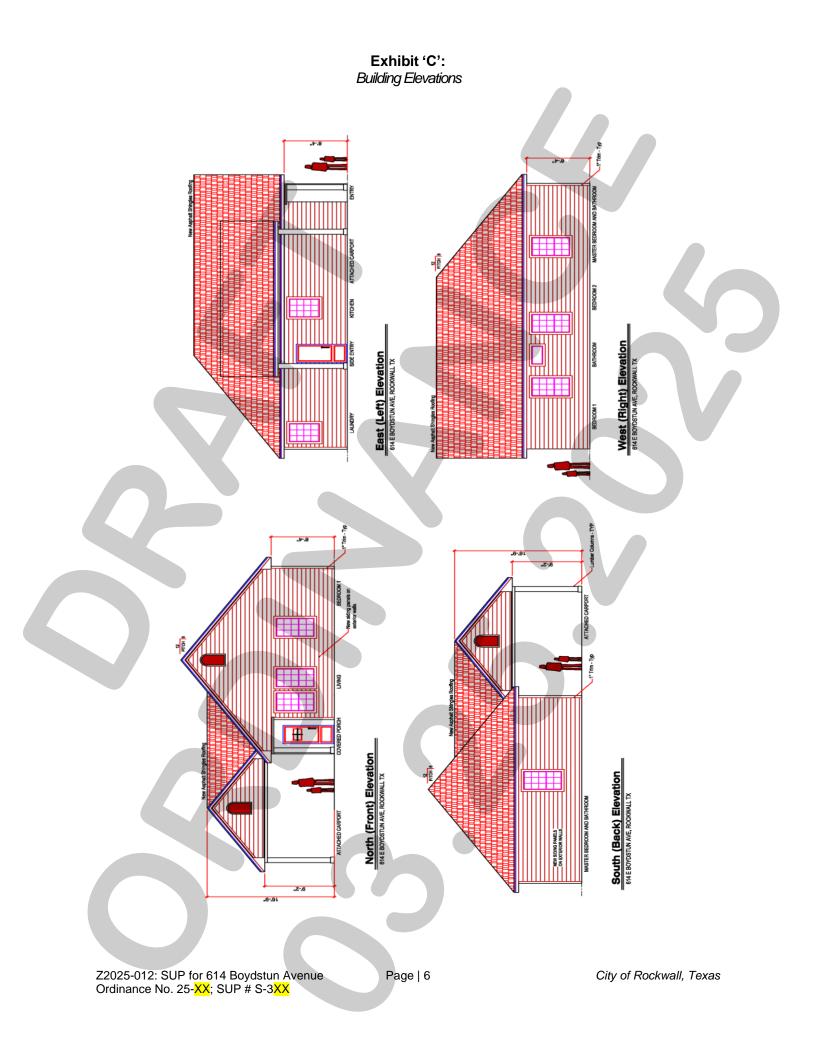
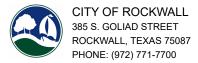


Exhibit 'B':





PROJECT COMMENTS



DATE: 3/20/2025

PROJECT NUMBER:	Z2025-013
PROJECT NAME:	SUP for Residential Infill
SITE ADDRESS/LOCATIONS:	588 CORNELIUS RD

CASE CAPTION: Hold a public hearing to discuss and consider a request by Brandon Spruill of Spruill Homes on behalf of Hallie Fleming for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a ten (10) acre tract of land identified Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 588 Cornelius Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Angelica Guevara	03/20/2025	Approved w/ Comments	

03/20/2025: Z2025-013; Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 588 Cornelius Road Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a ten (10) acre tract of land identified Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 588 Cornelius Road.

1.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2025-013) in the lower right-hand corner of all pages on future submittals.

1.4 According to Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is the adjacent to the Maytona Ranch Estates Subdivision which has been in existence since September 26, 1986, consists of 19 lots, and is 100% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.6 Outdoor Showers are not allowed in a single-family home. These must be removed from the floor plan.

1.7 Roof Pitch. According to Subsection 03.01, General Residential District Standards, of Article 05, District Development Standards, all residential structures shall be constructed with a minimum of a 3:12 roof pitch. In this case, two (2) of the awnings on the south elevation do not meet the requirements.

M.8 Ordinances. Please review the attached draft ordinance prior to the April 15, 2025 Planning & Zoning Commission meeting, and provide staff with your markups by April 1,

2025.

I.9 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 1, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 15, 2025 Planning and Zoning Commission Public Hearing Meeting.

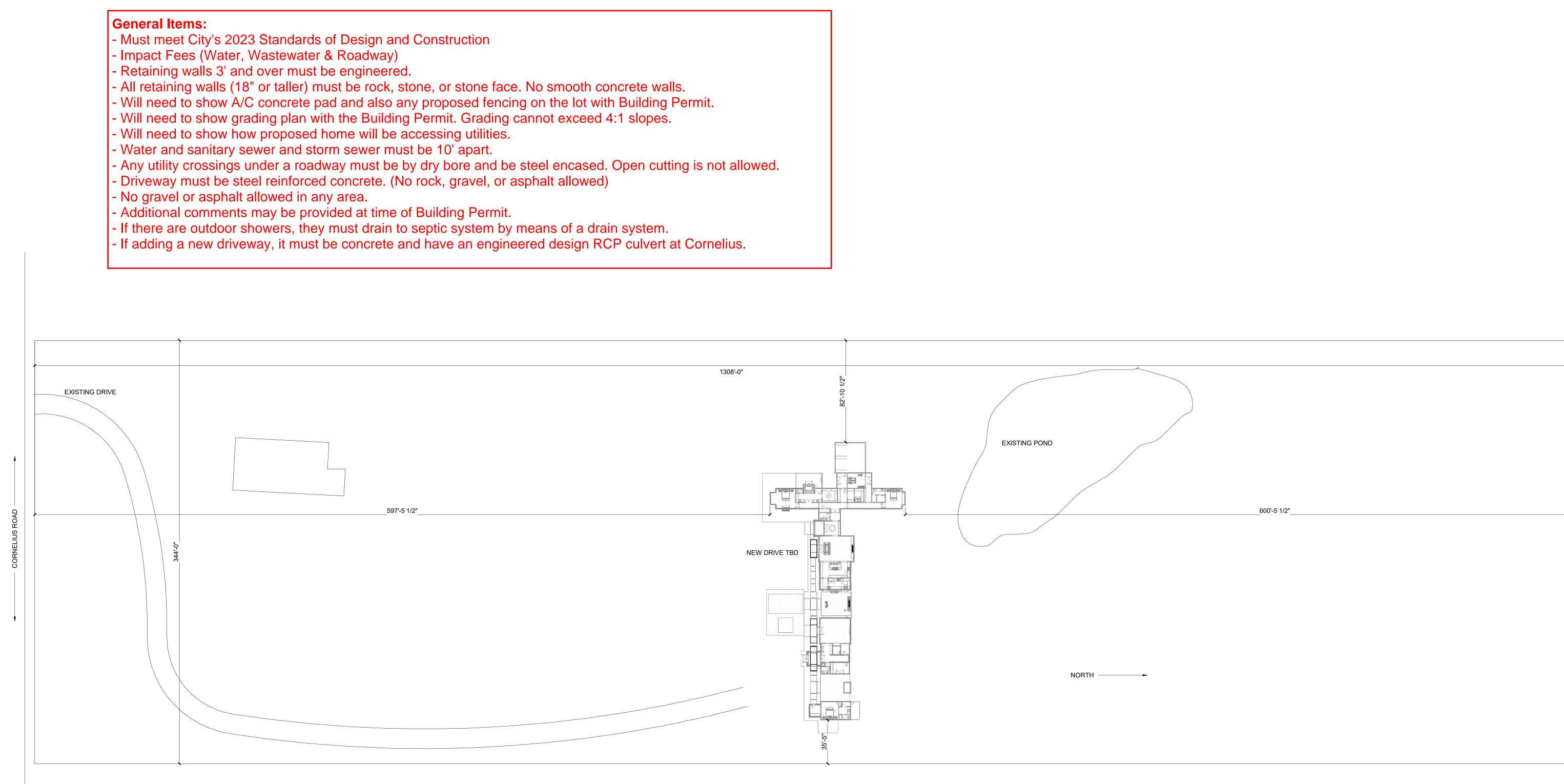
I.10 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on March 25, 2025, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on April 15, 2025.

1.11 City Council Meeting Dates. The projected City Council meeting dates for this case will be April 21, 2025 (1st Reading) and May 5, 2025 (2nd Reading).

I.12 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

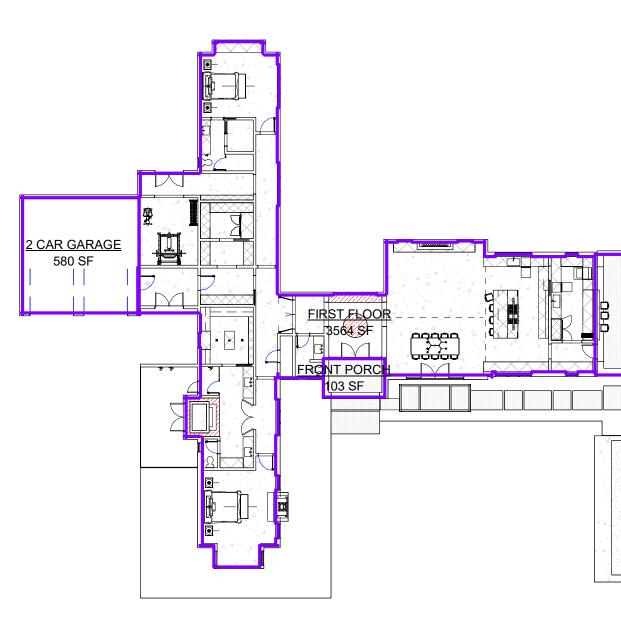
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments	
03/20/2025: General Items:				
- Must meet City's 2023 Standa	ards of Design and Construction			
- Impact Fees (Water, Wastewa	ater & Roadway)			
- Retaining walls 3' and over m	ust be engineered.			
- All retaining walls (18" or talle	er) must be rock, stone, or stone face. No smoot	h concrete walls.		
- Will need to show A/C concre	te pad and also any proposed fencing on the lot	t with Building Permit.		
- Will need to show grading pla	n with the Building Permit. Grading cannot exce	eed 4:1 slopes.		
- Will need to show how propos	sed home will be accessing utilities.			
- Water and sanitary sewer and	d storm sewer must be 10' apart.			
- Any utility crossings under a r	roadway must be by dry bore and be steel encas	sed. Open cutting is not allowed.		
- Driveway must be steel reinfo	prced concrete. (No rock, gravel, or asphalt allow	ved)		
- No gravel or asphalt allowed i	in any area.			
- Additional comments may be	provided at time of Building Permit.			
- If there are outdoor showers,	they must drain to septic system by means of a	drain system.		
- If adding a new driveway, it m	nust be concrete and have an engineered desigr	n RCP culvert at Cornelius.		
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	03/20/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	REVIEWER Ariana Kistner	DATE OF REVIEW 03/19/2025	STATUS OF PROJECT Approved	
FIRE No Comments	Ariana Kistner	03/19/2025	Approved	
FIRE				
FIRE No Comments DEPARTMENT	Ariana Kistner REVIEWER	03/19/2025 DATE OF REVIEW	Approved STATUS OF PROJECT	
FIRE No Comments DEPARTMENT GIS No Comments	Ariana Kistner REVIEWER Lance Singleton	03/19/2025 DATE OF REVIEW 03/17/2025	Approved STATUS OF PROJECT Approved	
FIRE No Comments DEPARTMENT GIS	Ariana Kistner REVIEWER	03/19/2025 DATE OF REVIEW	Approved STATUS OF PROJECT	

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	03/17/2025	Approved	
No Comments				



Design and Construction
Roadway)
engineered.
t be rock, stone, or stone face. No smooth concrete walls.
and also any proposed fencing on the lot with Building Permit.
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y must be by dry bore and be steel encased. Open cutting is not allowed. oncrete. (No rock, gravel, or asphalt allowed)
area. ad at time, of Duilding Darmit
ed at time of Building Permit.
nust drain to septic system by means of a drain system.
concrete and have an engineered design RCP culvert at Cornelius.

	BUIL	DING AREA
Level	Name	Ar
LEVEL 1	GAME SPACE	1071 SF
LEVEL 1	GUEST	418 SF
LEVEL 1	FIRST FLOOR	3564 SF
AC		5052 SF
LEVEL 1	2 CAR GARAGE	580 SF
LEVEL 1	LOGGIA	565 SF
LEVEL 1	FRONT PORCH	103 SF
LEVEL 1	OFFICE GARDEN	506 SF
LEVEL 1	GAME ENTRY	124 SF
NON AC		1878 SF
	DER ROOF: 8	6930 SF



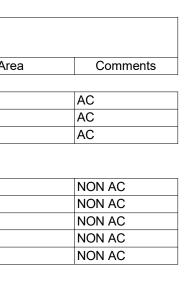




STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT

CONTRACTOR



O LOGGIA 565 SF	GAME SPACE GAME SPACE 1071 SF 506 SF	

TEXAS
ROCKWALL
IUS

copyright 2021 MGray Architecture THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY FOR HALLIE DAVENPORT THEY ARE NOT SUITABLE FOR USE ON OTHER LOCATIONS WITHOUT THE APPROVAL OF MGray IIC.

SCALE As indicated

INDEX AND AREAS

A-001

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NOTARY VERIFICA	TION	VIAHOO . CC	JM.I	Ľ	ARATADON &	SPILIAPIONES.COM
BEFORE ME, THE UNDERSK	SNED AUTHORITY, ON THIS DA ON THIS APPLICATION TO BE	Y PERSONALLY APPEARE	D the		town	NER THE UNDERSIGNED, WHO
HEREBY CERTIFY THAT I A	I THE OWNER FOR THE PURPO	SE OF THIS APPLICATION; A	LL INFORMATION S	UBMITT	ED HEREIN IS TRUE AND CORR	ECT; AND THE APPLICATION FEE OF
	, 20, BY SIGNIN	g This Application, I Agri The Public. The City is	ee that the city s also authorize	of Roc Ed And	CKWALL (I.E. "CITY") IS AUTHOF PERMITTED TO REPRODUCE	DAY OF RIZED AND PERMITTED TO PROVIDE ANY COPYRIGHTED INFORMATION FORMATION.
GIVEN UNDER MY HAND AN	D SEAL OF OFFICE ON THIS T	HE 12 th DAY OF M	arda	20 25		
	OWNER'S SIGNATURE	t	5		STARY PURE	LAURA PEREZ Notary Public
NOTARY PUBLIC IN AND FO	R THE STATE OF TEXAS	Hants			EDE TO My Col	State of Texas 1000512537175-6 mm. Expires 07-25-2025



City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

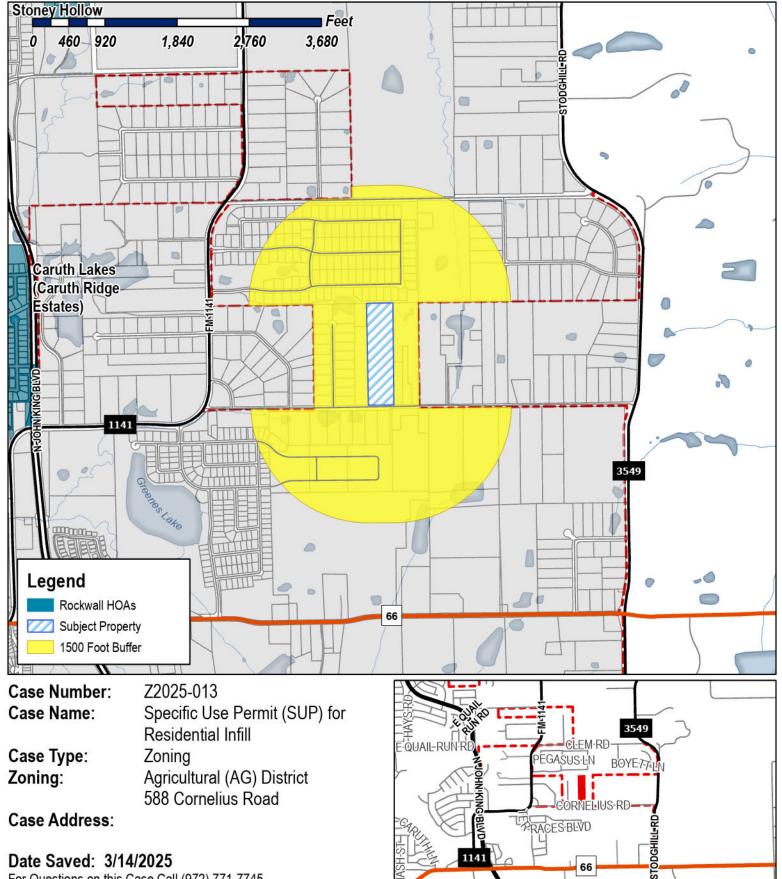


City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

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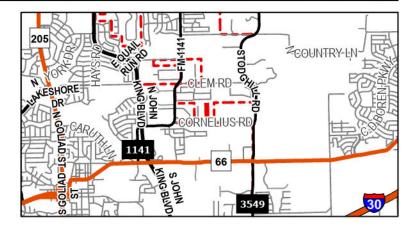




For Questions on this Case Call (972) 771-7745

City of Rockwall The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide Planning & Zoning Department 385 S. Goliad Street timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of Rockwall, Texas 75087 merchantability and fitness for a particular purpose. Use of the information (P): (972) 771-7745 (W): www.rockwall.com is the sole responsibility of the user. Feet 1,150 1,725 287.5 575 2,300 0 1141 M-11 0 100G Legend Z Subject Property 500 Foot Buffer Notified Properties

Case Number:Z2025-013Case Name:Specific Use Permit (SUP) for
Residential InfillCase Type:ZoningZoning:Agricultural (AG) DistrictCase Address:588 Cornelius Road



Date Saved: 3/14/2025 For Questions on this Case Call: (972) 771-7745 WINDING CREEK ROCKWALL HOMEOWNERS ASSOCIATION 1024 S GREENVILLE AVE STE 230 ALLEN, TX 75002

> JAMES BRIAN & KIMBERLY 1202 MARILYN JAYNE DR ROCKWALL, TX 75087

JAMES DAVID L 1205 MARILYN JAYNE DRIVE ROCKWALL, TX 75087

RODRIGUEZ CONRADO JR 1208 MARILYN JAYNE DR ROCKWALL, TX 75087

RYLANDER GREGORY L & PAMELA J 1211 MARILYN JAYNE ROCKWALL, TX 75087

> RESIDENT 1214 MARILYN JAYNE LN ROCKWALL, TX 75087

KELLY JAMES B & DEA S 1217 MARILYN JAYNE DR ROCKWALL, TX 75087

RESIDENT 1404 QUASAR DR ROCKWALL, TX 75087

SINGH GAGANPREET K AND PAWANPREET 151 STEVENSON DR FATE, TX 75087

> RESIDENT 2207 PHOENIX LN ROCKWALL, TX 75087

THOMAS STEPHEN R & SHARON C 1200 MARILYN JAYNE DR ROCKWALL, TX 75087

> SMITH DANIEL T 1203 MARILYN JAYNE DR ROCKWALL, TX 75087

COOK ROBERT M ETUX 1206 MARILYN JAYNE DR ROCKWALL, TX 75087

BARTON FORRIS WOODROW JR & DIXIE D 1209 MARILYN JAYNE DR ROCKWALL, TX 75087

> CONFIDENTIAL 1212 MAYILYN JAYNE LN ROCKWALL, TX 75087

CONFIDENTIAL 1215 MARILYN JAYNE DRIVE ROCKWALL, TX 75087

MENDOZA ROBERT E AND SANDRA J WILKINS 1218 MARILYN JAYNE DR ROCKWALL, TX 75087

> RESIDENT 1408 QUASAR DR ROCKWALL, TX 75087

RESIDENT 1518 QUASAR DR ROCKWALL, TX 75087

RESIDENT 2208 PHOENIX LN ROCKWALL, TX 75087 RANDY AND KAY WILSON REVOCABLE TRUST RANDY SCOTT WILSON AND KAY MARIE WILSON- CO TRUSTEES 1201 MARILYN JAYNE ROCKWALL, TX 75087

> WALKER GRACIE & LEON 1204 MARILYN JAYNE DR ROCKWALL, TX 75087

CANTRELL CARL DEAN 1207 MARILYN JAYNE DR ROCKWALL, TX 75087

EMRA JOHN AND SHERYL AND PAUL AND KATIE EMRA 1210 MARILYN JAYNE LANE ROCKWALL, TX 75087

> CONFIDENTIAL 1213 MARILYN JAYNE LN ROCKWALL, TX 75087

COUCH MITCHELL E AND PATRICIA M 1216 MARILYN JAYNE DR ROCKWALL, TX 75087

> RESIDENT 1400 QUASAR DR ROCKWALL, TX 75087

RESIDENT 1412 QUASAR DR ROCKWALL, TX 75087

MCCALLUM CRAIG WILLIAM 1983 N STODGHILL RD ROCKWALL, TX 75087

> RESIDENT 2212 PHOENIX LN ROCKWALL, TX 75087

RESIDENT 2215 PHOENIX LN ROCKWALL, TX 75087

RESIDENT 2220 PHOENIX LN ROCKWALL, TX 75087

RESIDENT 2301 PHOENIX LN ROCKWALL, TX 75087

RESIDENT 2305 PHOENIX LN ROCKWALL, TX 75087

RESIDENT 2309 PHOENIX LN ROCKWALL, TX 75087

RESIDENT 2313 PHOENIX LN ROCKWALL, TX 75087

RESIDENT 2317 PHOENIX LN ROCKWALL, TX 75087

RESIDENT 2321 PHOENIX LN ROCKWALL, TX 75087

RESIDENT 2325 PHOENIX LN ROCKWALL, TX 75087

RESIDENT 401 CORNELIUS RD ROCKWALL, TX 75087 RESIDENT 2216 PHOENIX LN ROCKWALL, TX 75087

RESIDENT 2221 PEGASUS LN ROCKWALL, TX 75087

RESIDENT 2302 PHOENIX LN ROCKWALL, TX 75087

RESIDENT 2306 PHOENIX LN ROCKWALL, TX 75087

RESIDENT 2310 PHOENIX LN ROCKWALL, TX 75087

RESIDENT 2314 PHOENIX LN ROCKWALL, TX 75087

RESIDENT 2318 PHOENIX LN ROCKWALL, TX 75087

RESIDENT 2322 PHOENIX LN ROCKWALL, TX 75087

SHADDOCK HOMES LTD 2400 Dallas Pkwy STE 560 Plano, TX 75093

RESIDENT 451 CORNELIUS RD ROCKWALL, TX 75087 RESIDENT 2217 PEGASUS LN ROCKWALL, TX 75087

FORMAN LINDSEY & TANNER 2221 PEGASUS LN ROCKWALL, TX 75087

> RESIDENT 2303 PEGASUS LN ROCKWALL, TX 75087

> RESIDENT 2307 PEGASUS LN ROCKWALL, TX 75087

> RESIDENT 2311 PEGASUS LN ROCKWALL, TX 75087

> RESIDENT 2315 PEGASUS LN ROCKWALL, TX 75087

> RESIDENT 2319 PEGASUS LN ROCKWALL, TX 75087

> RESIDENT 2323 PEGASUS LN ROCKWALL, TX 75087

LEE GREGORY P & LAUREN E 2908 PRESTON TRL ROCKWALL, TX 75087

> RESIDENT 487 CORNELIUS RD ROCKWALL, TX 75087

FLEMING HALLIE B 508 N ALAMO RD ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC 5310 Harvest Hill Rd Ste 162 Dallas, TX 75230

> PEOPLES DONNIE **589 CORNELIUS** ROCKWALL, TX 75087

> RESIDENT 600 CORNELIUS RD ROCKWALL, TX 75087

LEE JAMES H AND BARBARA 628 CORNELIUS RD ROCKWALL, TX 75087

PEWITT RONNY M & JENNIFER L 668 CORNELIUS RD ROCKWALL, TX 75087

> RESIDENT 839 CORNELIUS RD ROCKWALL, TX 75087

ESTATE OF MICHAEL L PEOPLES SR PO Box 154 FATE, TX 75132

RESIDENT 520 CORNELIUS RD ROCKWALL, TX 75087

RESIDENT 555 CORNELIUS RD ROCKWALL, TX 75087

PEOPLES DONNIE 589 CORNELIUS ROCKWALL, TX 75087

RESIDENT 611 CLEM RD ROCKWALL, TX 75087

RESIDENT 657 CORNELIUS RD ROCKWALL, TX 75087

PERKINS RALPH TRENT & AMY CAIN 701 Cornelius Rd

FALCON PLACE SF LTD 8214 Westchester Dr Ste 900 Dallas, TX 75225

ESTATE OF MICHAEL L PEOPLES SR ANDREA DANLEY - INDEPENDENT EXECUTOR PO Box 154 Fate, TX 75132

RESIDENT 588 CORNELIUS RD ROCKWALL, TX 75087

RESIDENT 525 CORNELIUS RD

ROCKWALL, TX 75087

PEOPLES DONNIE **589 CORNELIUS** ROCKWALL, TX 75087

RESIDENT 614 CORNELIUS RD ROCKWALL, TX 75087

RESIDENT

657 CORNELIUS RD

ROCKWALL, TX 75087

Rockwall, TX 75087

SOUTHALL MARK P & KATHY L P. O. BOX 2214 ROCKWALL, TX 75087

PUBLIC NOTICE

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-013: Specific Use Permit (SUP) for a Residential Infill

Hold a public hearing to discuss and consider a request by Brandon Spruill of Spruill Homes on behalf of Hallie Fleming for the approval of a <u>Specific Use Permit</u> (<u>SUP</u>) for Residential Infill in an Established Subdivision on a ten (10) acre tract of land identified Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 588 Cornelius Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday, April 15, 2025 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, April 21,2025 at 6:00 PM</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

- - PLEASE RETURN THE BELOW FORM

Case No. Z2025-013: Specific Use Permit (SUP) for a Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

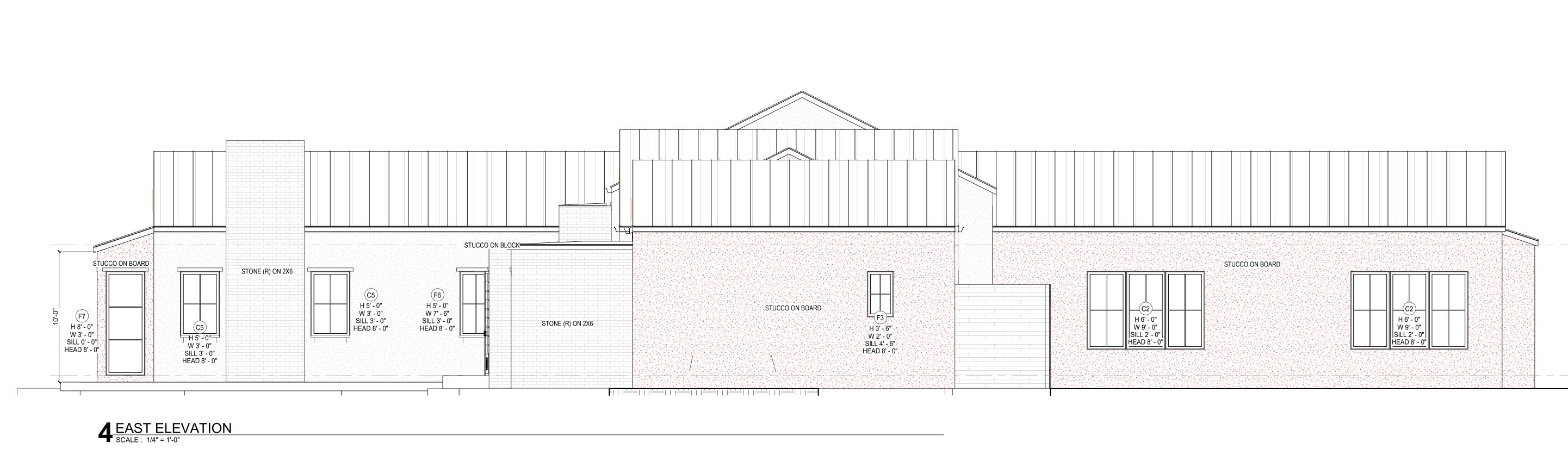
I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





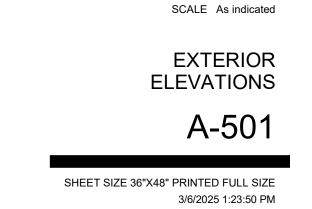


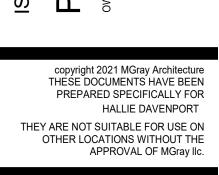






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ISSUE FOR PERMIT 03/06/2025	
PROJECT ADDRESS	 588 CORNELI
OWNER HALLIE DAVENPORT	

へ Ш ()RO _____ NS

S

ARCHITECTURE

ARCHITECT OF RECORD

M-GRAY ARCHTECTURE 469-855-6275 mgray@m-gray.com

INTERIOR DESIGNER

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT

CONTRACTOR

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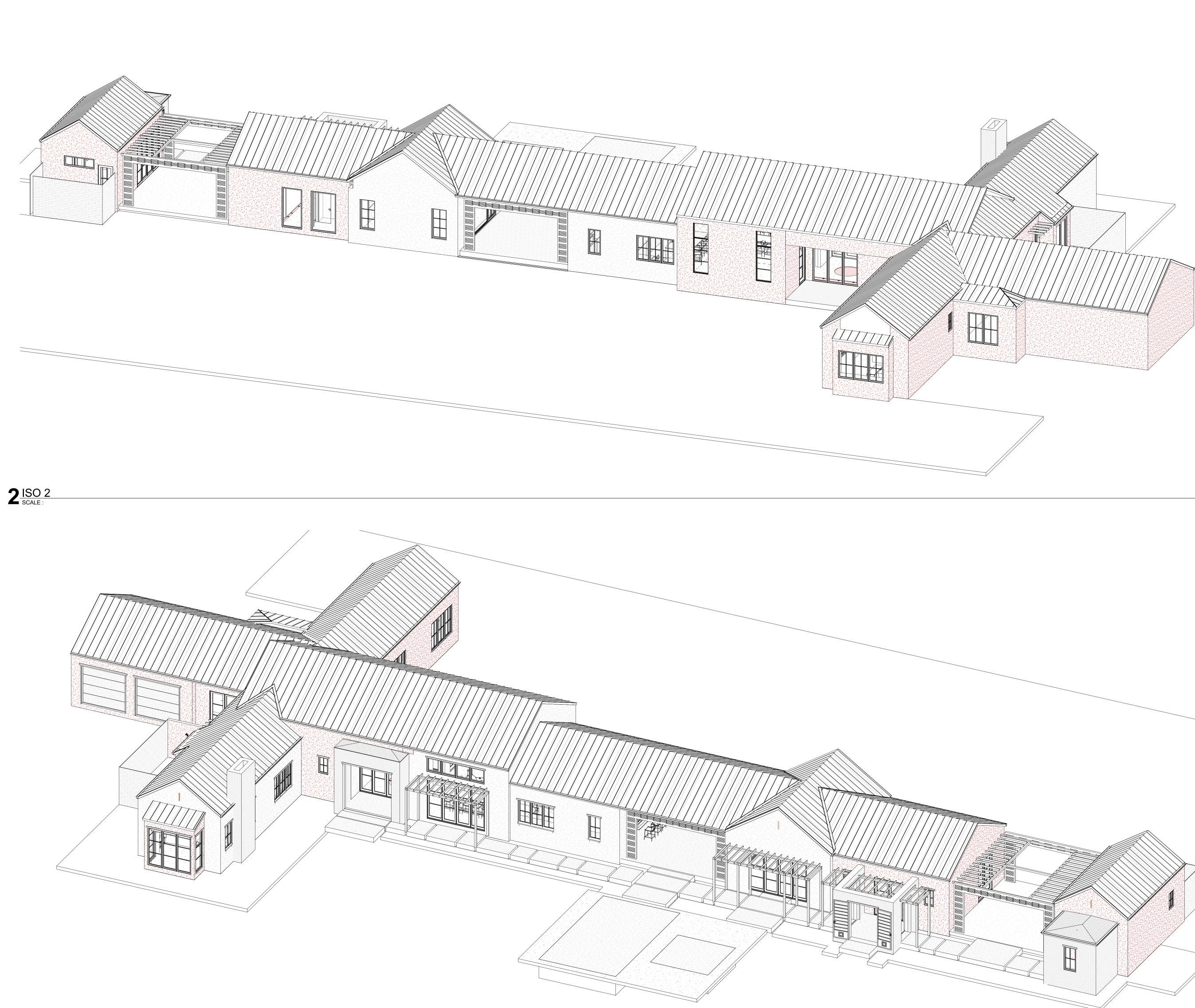
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ARCHITECT OF RECORD M-GRAY ARCHTECTURE 469-855-6275 mgray@m-gray.com INTERIOR DESIGNER

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT

CONTRACTOR

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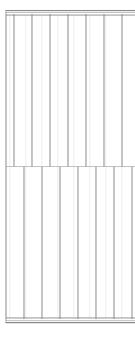
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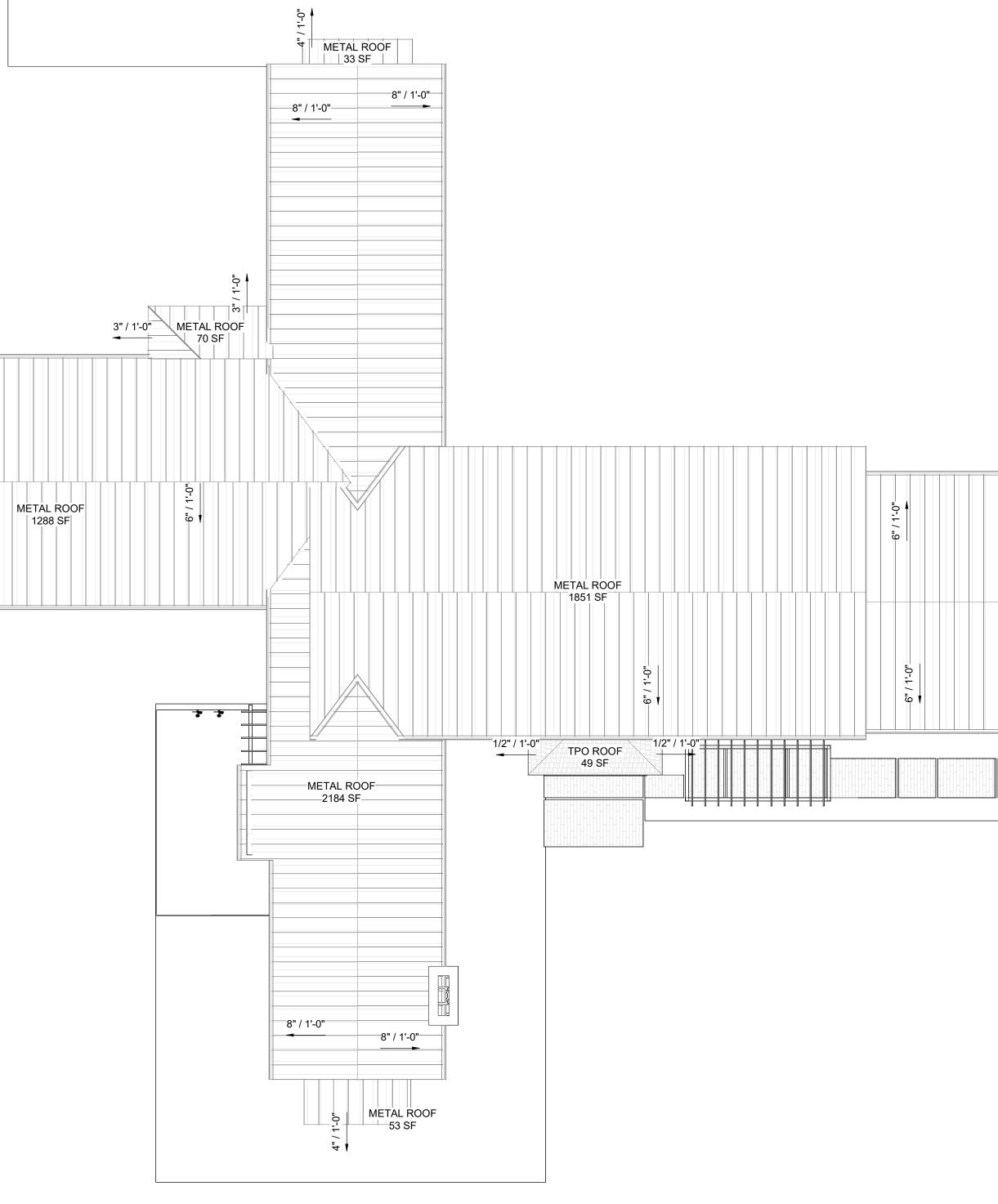
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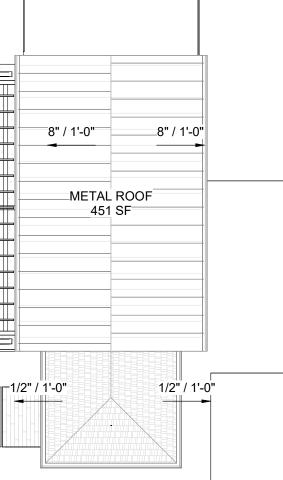


ARCHITECT OF RECORD M-GRAY ARCHTECTURE 469-855-6275 mgray@m-gray.com INTERIOR DESIGNER

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT

CONTRACTOR



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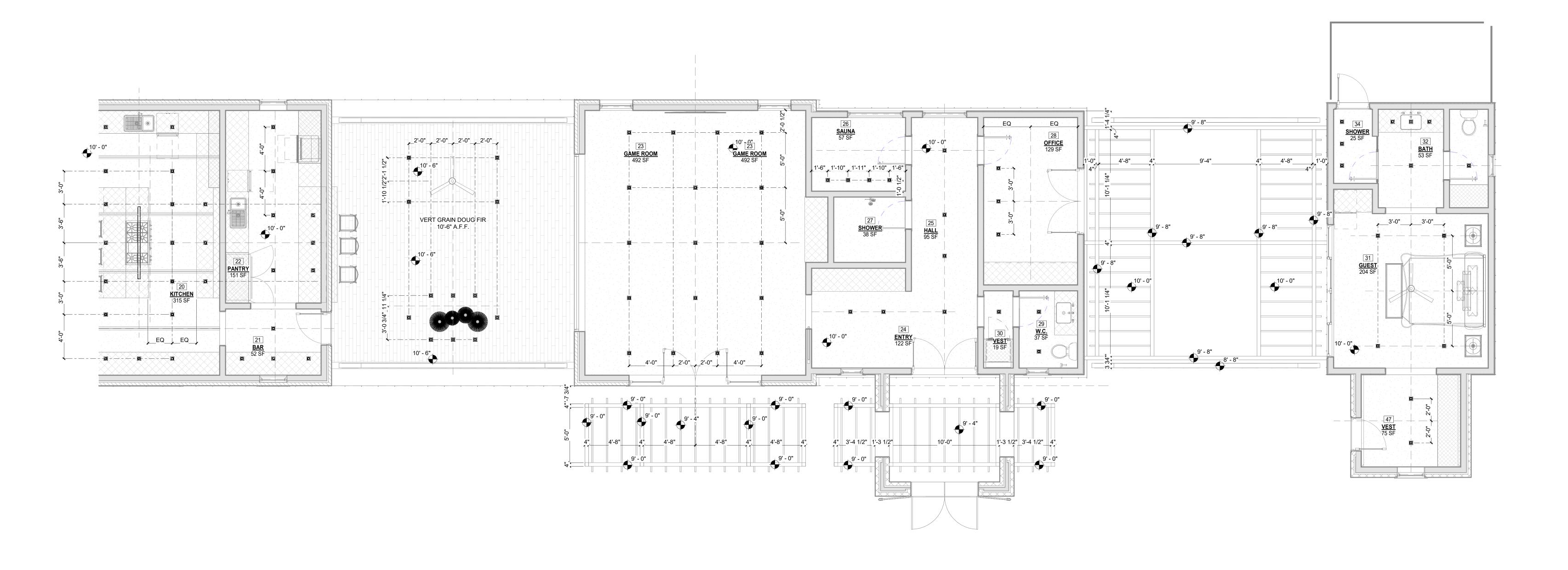
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STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT

<u>CONTRACTOR</u>

PROJECT ADDRESS | 588 CORNELIUS |

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SCALE 1/4" = 1'-0"

LEVEL 1 AREA A CEILING PLAN A-301B

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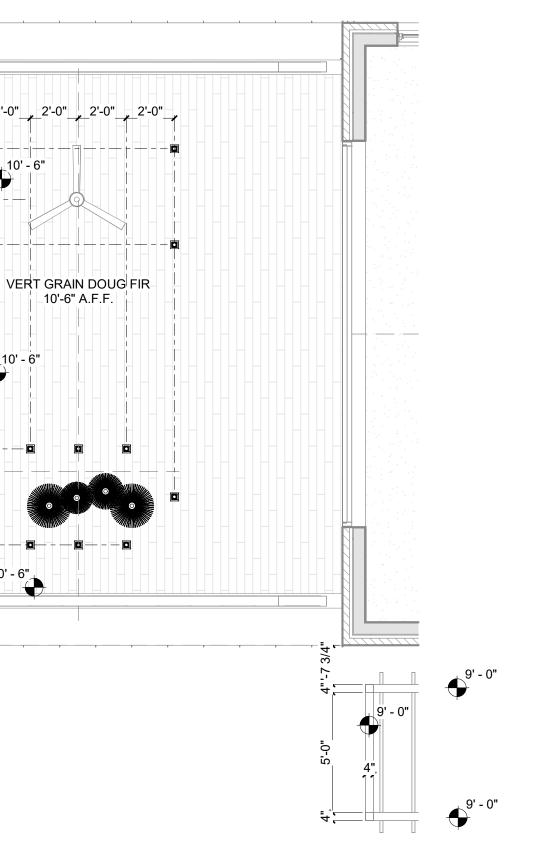
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STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT

CONTRACTOR



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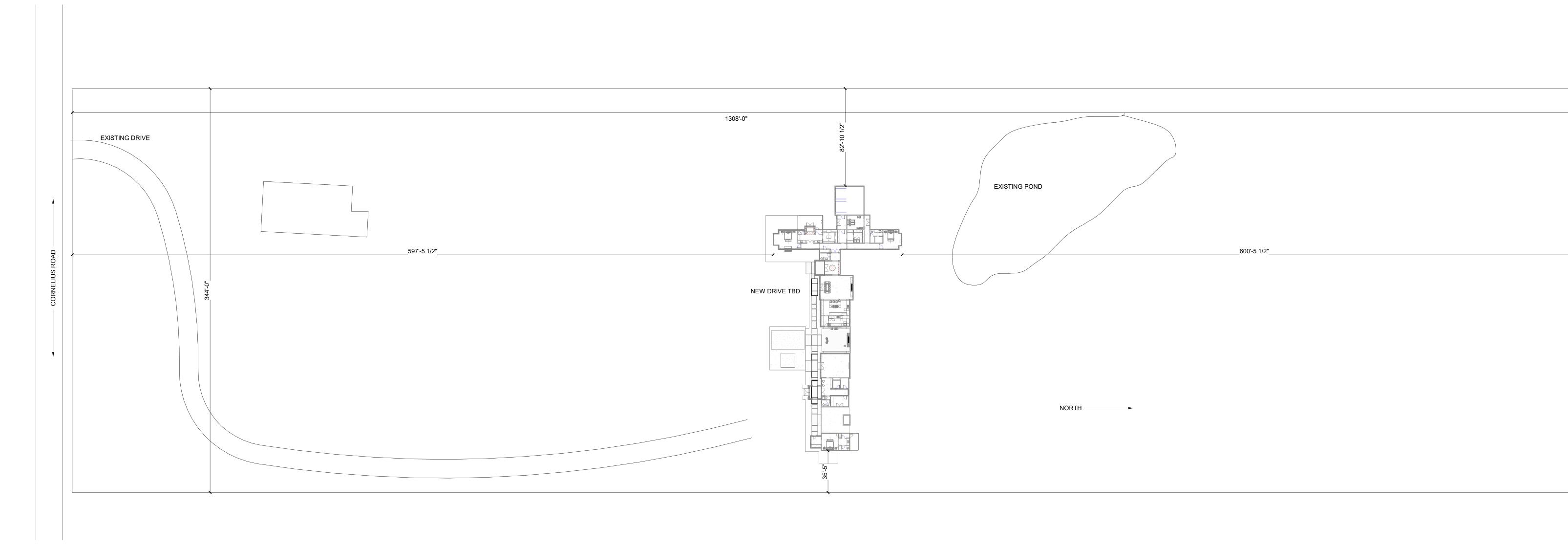
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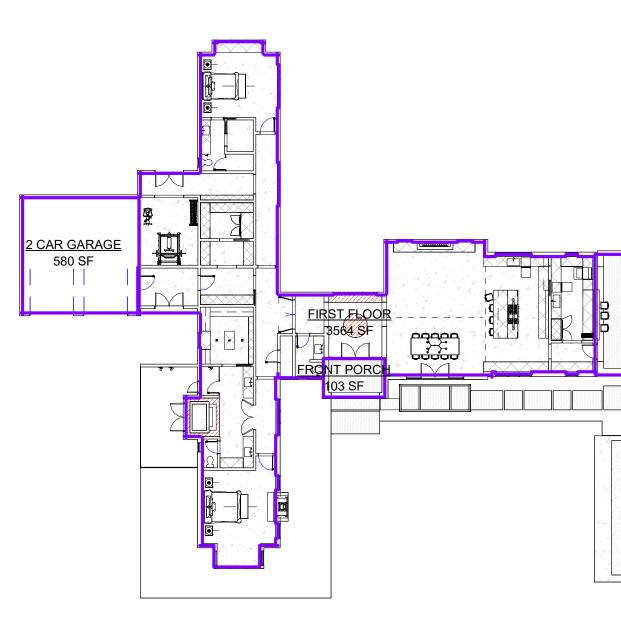
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LEVEL 1 AREA A CEILING PLAN A-301A

SHEET SIZE 36"X48" PRINTED FULL SIZE 3/6/2025 1:23:24 PM



	BUIL	DING AREA
Level	Name	Ar
LEVEL 1	GAME SPACE	1071 SF
LEVEL 1	GUEST	418 SF
LEVEL 1	FIRST FLOOR	3564 SF
AC	L	5052 SF
LEVEL 1	2 CAR GARAGE	580 SF
LEVEL 1	LOGGIA	565 SF
LEVEL 1	FRONT PORCH	103 SF
LEVEL 1	OFFICE GARDEN	506 SF
LEVEL 1	GAME ENTRY	124 SF
NON AC		1878 SF
	6930 SF	



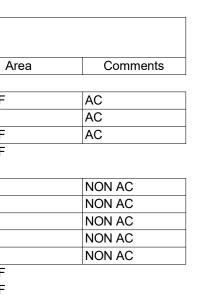




STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT

CONTRACTOR



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FOR PERMIT | 12/13/2024

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SCALE As indicated

INDEX AND AREAS

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CITY OF ROCKWALL

ORDINANCE NO. <u>25-XX</u>

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A TEN (10) ACRE PARCEL OF LAND, IDENTIFIED AS TRACT 22-02 OF THE W.M. DALTON SURVEY, ABSTRACT NO. 72, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Brandon Spruill of Spruill Homes on behalf of Hallie Fleming for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a ten (10) acre parcel of land identified as Tract 22-02 of the W.M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 588 Cornelius Road, and being more specifically described and depicted in *Exhibit* 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 02.01, *Agricultural*

(AG) District, of Article 05, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the <u>Residential Plot Plan</u> as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit* 'C' of this ordinance.
- Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 5th DAY OF MAY, 2025.

	Trace Johannesen, Mayor
ATTEST:	
Kristy Teague, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	
1 st Reading: <u><i>April</i> 21, 2025</u>	
2 nd Reading: <u>May 5, 2025</u>	

Z2025-013: SUP for 588 Cornelius Road Ordinance No. 25-XX; SUP # S-3XX

Exhibit 'A':

Location Map

Address: 588 Cornelius Road

Legal Description: Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72



Z2025-013: SUP for 588 Cornelius Road Ordinance No. 25-XX; SUP # S-3XX

City of Rockwall, Texas

Exhibit 'B': Residential Plot Plan

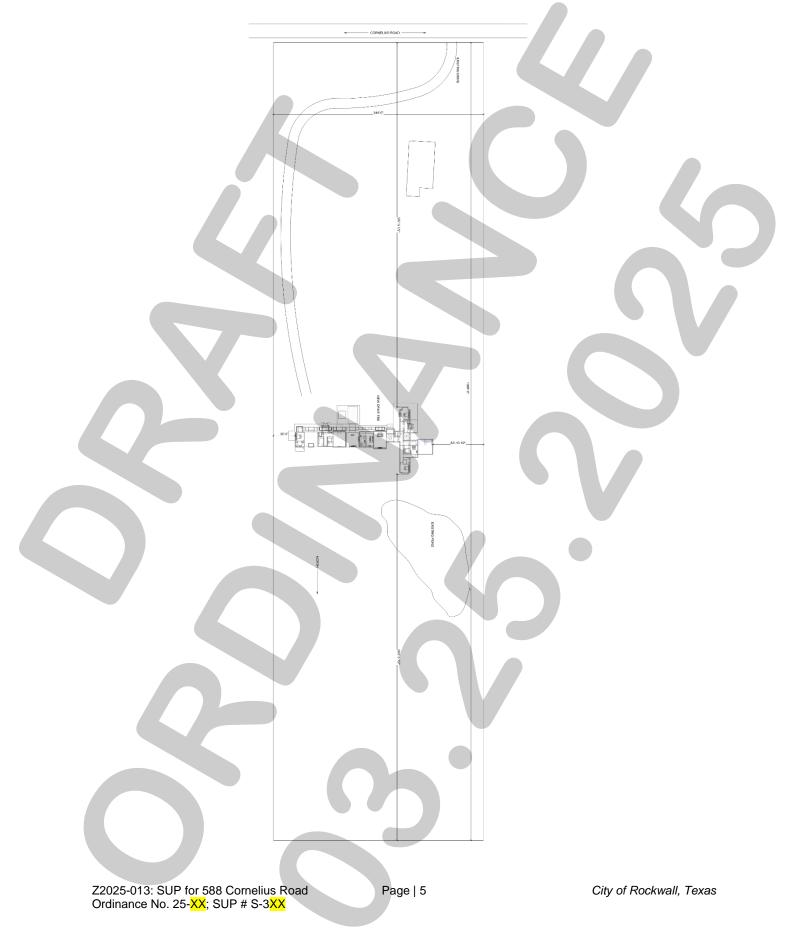
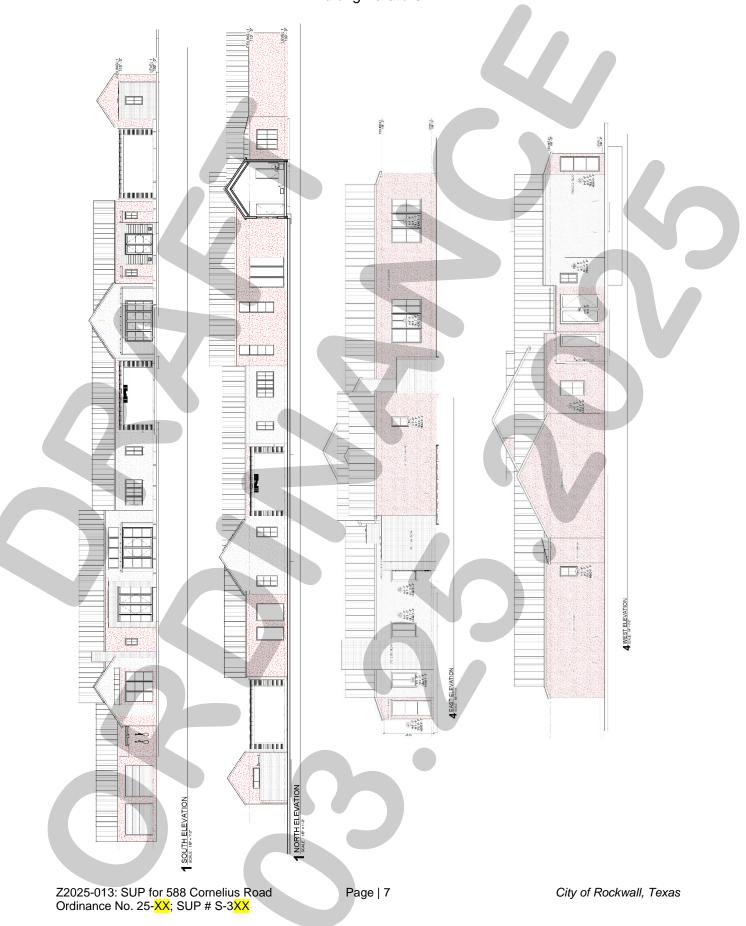
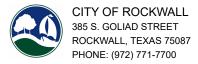




Exhibit 'C': Building Elevations



PROJECT COMMENTS



DATE: 3/20/2025

PROJECT NUMBER:	Z2025-014
PROJECT NAME:	SUP for Automotive Shop
SITE ADDRESS/LOCATIONS:	1460 S T L TOWNSEND DR

CASE CAPTION: Hold a public hearing to discuss and consider a request by Alexander Trujillo for the approval of a Specific Use Permit (SUP) for Minor Automotive Repair Garage on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Bethany Ross	03/19/2025	Approved w/ Comments	

03/19/2025: Z2025-014; Specific Use Permit (SUP) for a Minor Automotive Repair Garage Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Minor Automotive Repair Garage on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116.

1.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2025-014) in the lower right-hand corner of all pages on future submittals.

I.4 A Minor Automotive Repair Garage is defined as a "Minor repair or replacement of parts, tires, tubes, and batteries; diagnostic services; minor motor services such as grease, oil spark plugs, and filter changing; tire alignment; tune-ups, emergency road service; replacement of starters, alternators, hoses, brake parts, mufflers; performing state inspections and making minor repairs necessary to pass said inspection; servicing of air-conditioning systems, and similar minor services for motor vehicles except heavy land vehicles, but not including any operation named under Automobile repair, major, or any other similar use. All work must be performed inside an enclosed building. Vehicles shall not be stored on site for longer than 14 days." In this case, the Minor Automotive Repair Garage is for a company that adheres vehicle wraps and window tinting. The applicant has stated that no vehicles will be stored overnight.

M.5 Vehicles, equipment, parts or inventory shall not be stored outside overnight. This is a condition of approval of the Specific Use Permit.

I.6 The proposed use appears to meet all of the conditional land use standards for a Minor Automotive Repair Garage.

1.7 The subject property is zoned Commercial (C) District. In a Commercial (C) District, a Minor Automotive Repair Garage requires the approval of a Specific Use Permit (SUP). The SUP requirement is in place "...to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions." In this case, the City Council -- pending a recommendation from the Planning and Zoning Commission -- must determine if the proposed Minor Automotive Repair Garage is compatible with the surrounding businesses.

1.8 The proposed concept plan appears to meet the required parking for a Minor Automotive Repair Garage of 2 parking spaces per bay door.

M.9 Please review the attached Draft Ordinance prior to the March 25, 2025 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than April 1, 2025. In reviewing the Draft Ordinance, please pay close attention to the operational conditions.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 1, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 15, 2025, Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on March 25,2025.

I.11 The projected City Council meeting dates for this case will be April 21 (1st Reading) and May 5, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Madelyn Price	03/20/2025	Approved	
03/20/2025: Approved as long	as you are not adding parking.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	03/20/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	03/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	03/17/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	03/17/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	03/17/2025	Approved	

No Comments

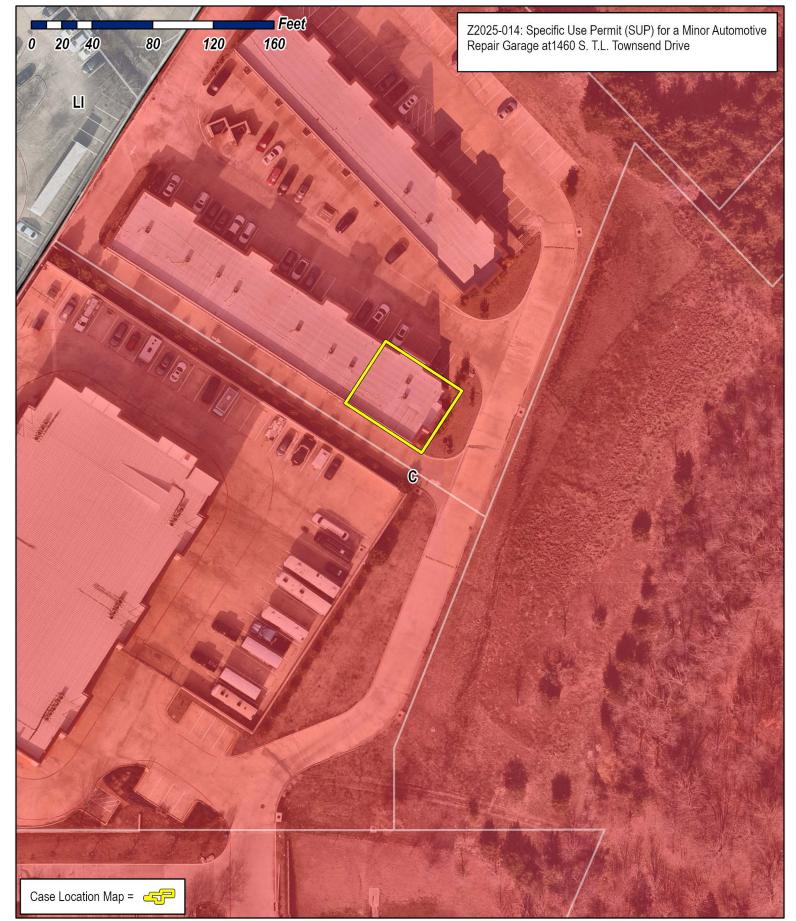
	DEVELOPMENT APPLICA City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087	TION	PLANNII <u>NOTE:</u> 1 CITY UN SIGNED DIRECT	USE ONLY NG & ZONING CASE NO. THE APPLICATION IS NO NTIL THE PLANNING DIRI DELOW. OR OF PLANNING: IGINEER:	T CONSIDE	
PLEASE CHECK THE AF	PROPRIATE BOX BELOW TO INDICATE THE TYPE O	F DEVELOPME	NT REQU	EST [SELECT ONLY C	ONE BOX]:	
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PROPERTY INFOR	RMATION [PLEASE PRINT]					
ADDRESS	1460 T L Townsend	Dr #	±116	Rockwall	TX	75087
SUBDIVISION				LOT		BLOCK
GENERAL LOCATION						
ZONING, SITE PLA	AN AND PLATTING INFORMATION [PLEASI	E PRINT]				
CURRENT ZONING	Commercial (c) District	CURREN	IT USE	Vacant		
PROPOSED ZONING	Land use Permitted Specific UseR	PROPOSE	D USE	Automotive	tint	+ Wraps
ACREAGE	LOTS [CURRENT]	the second second second		LOTS [PROF		
REGARD TO ITS AF	PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE TH PROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF S VIAL OF YOUR CASE.					
OWNER/APPLICA	NT/AGENT INFORMATION [PLEASE PRINT/CHI	ECK THE PRIMA	RY CONTA	CT/ORIGINAL SIGNATU	RES ARE RE	QUIRED]
🗖 owner 💡	Alexander Trujillo		CANT			
CONTACT PERSON		CONTACT PER	RSON			
ADDRESS 7	2110 Glaston Rd	ADD	RESS			
CITY, STATE & ZIP	Forney TX 75126	CITY, STATE	& ZIP			
1000	172-900-5706	PH	IONE			
E-MAIL O	rchidtintdesign@Gmail.com	E-	MAIL			
NOTARY VERIFICA BEFORE ME, THE UNDERS STATED THE INFORMATION	ATION [REQUIRED] IGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED N ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE	FOLLOWING:	er tr	willo Arias	[Owner] Th	ie undersigned, who
INFORMATION CONTAINED SUBMITTED IN CONJUNCTIC	, 20 <mark>25</mark> , BY SIGNING THIS APPLICATION, I AGRE WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS N WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSO	E THAT THE CIT ALSO AUTHORIZ CIATED OR IN RE	Y OF ROCK ZED AND F	(WALL (I.E. "CITY") IS AUT PERMITTED TO REPROD	THORIZED AN UCE ANY CC	D PERMITTED TO PROVIDE
GIVEN UNDER MY HAND A	ND SEAL OF OFFICE ON THIS THE UT DAY OF MAN	ich	, 20 <u>25</u> .		Notary Pu	blic, State of Texas
	OWNER'S SIGNATURE			OF	*	ID 134154467

DEVELOPMENT APPLICATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745

and

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES J RATION 19, 1027

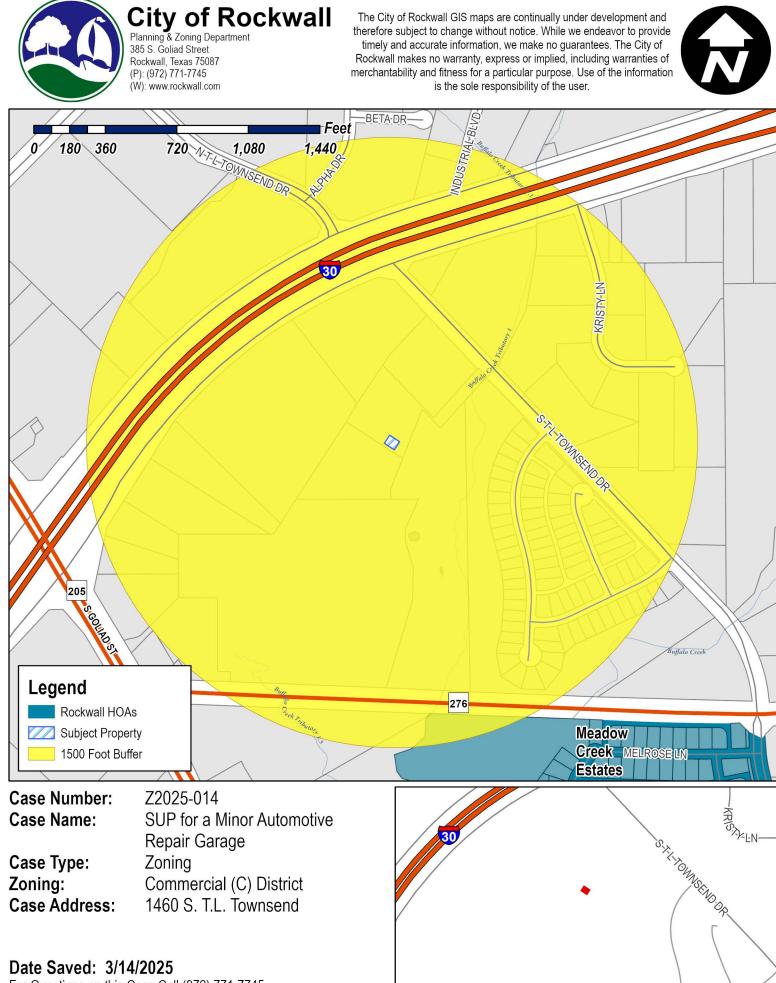




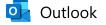
City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





For Questions on this Case Call (972) 771-7745



Neighborhood Notification Program [Z2025-014]

From Zavala, Melanie <MZavala@rockwall.com>

Date Wed 3/19/2025 9:50 AM

Cc Miller, Ryan <RMiller@rockwall.com>; Lee, Henry <HLee@rockwall.com>; Ross, Bethany
 Cc Miller@rockwall.com>; Guevara, Angelica <AGuevara@Rockwall.com>

2 attachments (862 KB)

Public Notice (03.17.2025).pdf; HOA Map (03.19.2025).pdf;

HOA/Neighborhood Association Representative:

Per your participation in the <u>Neighborhood Notification Program</u>, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on <u>Friday, March 21, 2025</u>. The Planning and Zoning Commission will hold a public hearing on <u>Tuesday, April 15, 2025 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, April 21, 2025 at 6:00 PM</u>. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to <u>Planning@rockwall.com</u> at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <u>https://sites.google.com/site/rockwallplanning/development/development-cases</u>.

Z2025-014: Specific Use Permit (SUP) for a Minor Automotive Repair Garage

Hold a public hearing to discuss and consider a request by Alexander Trujillo for the approval of a <u>Specific Use Permit (SUP)</u> for *Minor Automotive Repair Garage* on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116, and take any action necessary.

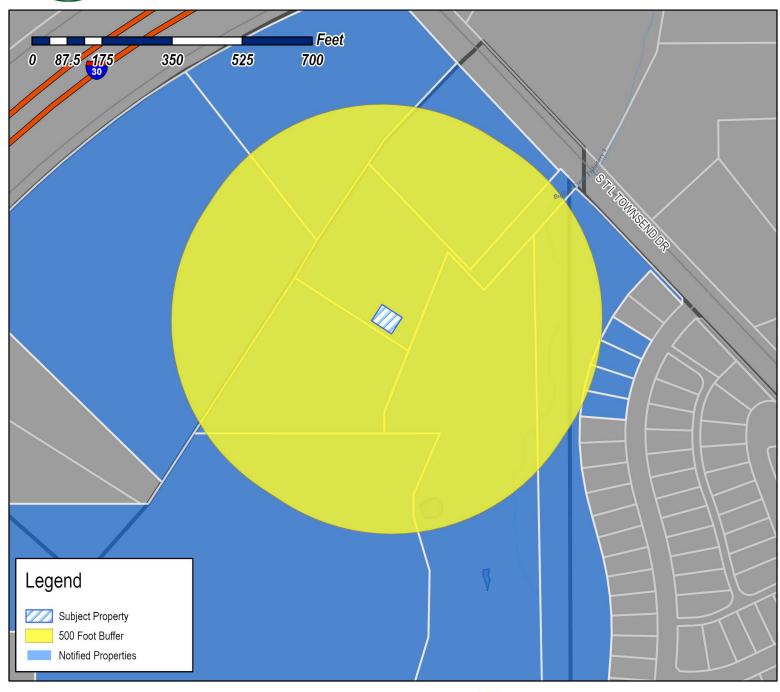
Thank you,

Melanie Zavala

Planning & Zoning Coordinator | Planning Dept.| City of Rockwall 385 S. Goliad Street | Rockwall, TX 75087 <u>Planning & Zoning Rockwall</u> 972-771-7745 Ext. 6568 City of Rockwall Planning & Zoning Department 385 S. Goliad Street

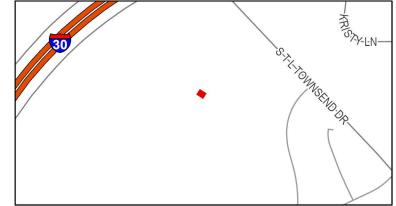
Planning & Zoning Departm 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Case Name:

Case Type: Zoning: Case Address: Z2025-014 SUP for a Minor Automotive Repair Garage Zoning Commercial (C) District 1460 S. T.L. Townsend Drive



Date Saved: 3/14/2025 For Questions on this Case Call: (972) 771-7745 RESIDENT 1225 HWY 276 ROCKWALL, TX 75032

RESIDENT 1290 I30 ROCKWALL, TX 75032

RESIDENT 1480 S T L TOWNSEND DR ROCKWALL, TX 75032

RESIDENT 1551 TROWBRIDGE CIR ROCKWALL, TX 75032

CTE PHASE I LP 2266 LAFAYETTE LNDG ROCKWALL, TX 75032

COSTCO WHOLESALE CORP PROPERTY TAX DEPT 1049 999 LAKE DR ISSAQUAH, WA 98027 RESIDENT 1245 HWY276 DR ROCKWALL, TX 75032

SARO PARTNERS LLC 1450 T L TOWNSEND ROCKWALL, TX 75032

FARR TRAVIS AND MELLISA 1539 TROWBRIDGE CIRCLE ROCKWALL, TX 75032

> MOTA SAMUEL 1557 Trowbridge Cir Rockwall, TX 75032

FENG YI 2757 SCENIC DR PLANO, TX 75025 JACKSON AUTOMOTIVE REAL ESTATE INV LLC DBA TOYOTA OF ROCKWALL 1250 E INTERSTATE 30 ROCKWALL, TX 75087

> RESIDENT 1460 S TOWNSEND DR ROCKWALL, TX 75032

COURT MONDA J 1545 Trowbridge Cir Rockwall, TX 75032

CITY OF HEATH 200 LAURENCE DRIVE HEATH, TX 75032

MSC ROCKWALL LLC 725 PARK CENTER DRIVE MATTHEWS, NC 28105

PUBLIC NOTICE

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-014: Specific Use Permit (SUP) for Minor Automotive Repair Garage

Hold a public hearing to discuss and consider a request by Alexander Trujillo for the approval of a <u>Specific Use Permit (SUP)</u> for *Minor Automotive Repair Garage* on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday, April 15, 2025 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, April 21, 2025 at 6:00 PM</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

- - PLEASE RETURN THE BELOW FORM

Case No. Z2025-014: Specific Use Permit (SUP) for Minor Automotive Repair Garage

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Alexander Trujillo Owner, Orchid Tint and Designs 1460 T L Townsend Dr #116 Rockwall, TX 75087 (972) 900 5706

3/14/2025

City of Rockwall Planning and Zoning Department

Dear Planning and Zoning Department,

I am writing to formally request a Special Use Permit to operate our new business, Orchid Tint and Designs, at 1460 T L Townsend Dr #116 Rockwall, TX 75087. Our business specializes in window tinting services, as well as paint protection wraps, within a commercial zone.

To provide additional clarity about our operations:

- **By-Appointment-Only Service**: All vehicle services will be conducted strictly by appointment, ensuring a controlled and organized flow of customer visits.

- **Same-Day Service**: Services will be completed on the same day, and no vehicles will be stored onsite overnight.

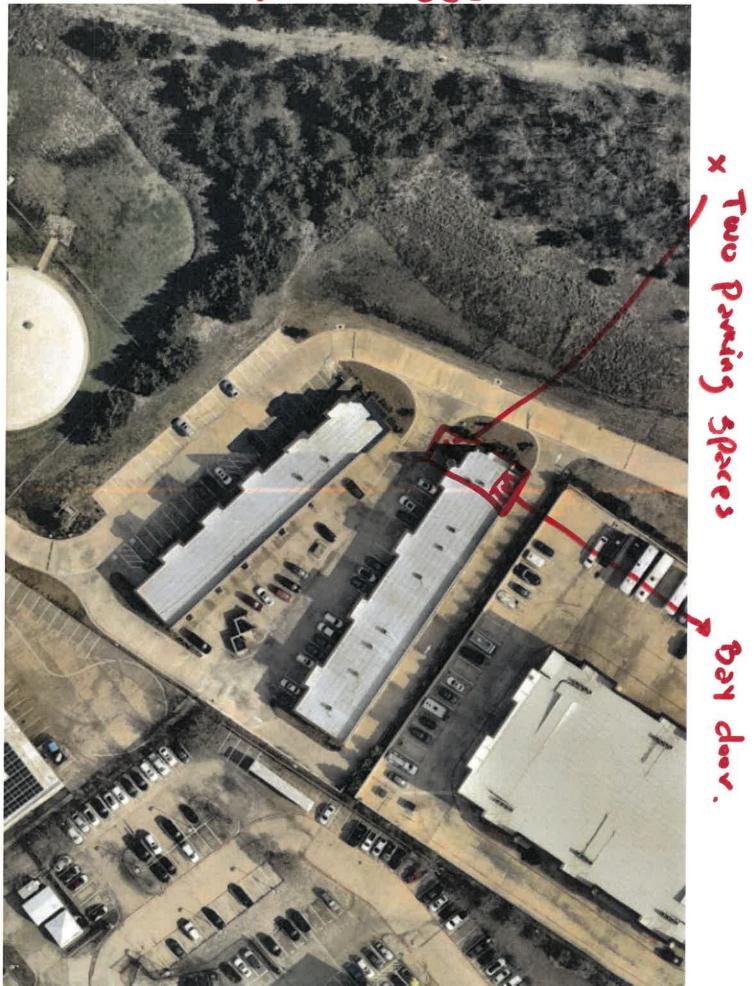
- **Minimal Disruption**: Our operations are designed to minimize impact on neighboring businesses and traffic within the area.

We are committed to adhering to all regulations and maintaining a professional, clean, and communityconscious establishment. Our business will contribute to the local economy by providing specialized vehicle services while respecting the integrity of the commercial zone.

I kindly ask for your consideration of this request, and I am happy to provide any additional documentation or answer questions that might assist in your evaluation process. Thank you for your time and support.

Sincerely, Alexander Trujillo Owner, Orchid Tint and Designs

Orchid Consortium LLC



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A MINOR AUTOMOTIVE REPAIR GARAGE ON A 2.692-ACRE PARCEL OF LAND IDENTIFIED LOT 5, BLOCK A, PLATINUM STORAGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' AND EXHIBIT 'B' OF THIS ORDINANCE: PROVIDING FOR SPECIAL CONDITIONS: PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE: PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN **EFFECTIVE DATE.**

WHEREAS, the City has received a request from Alexander Trujillo for the approval of a <u>Specific</u> <u>Use Permit (SUP)</u> for Minor Automotive Repair Garage on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116, and being more specifically depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. The Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow a *Minor Automotive Repair Garage* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.01, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

Z2025-014: SUP for a Minor Automotive Repair Garage at 1460 T.L. Townsend Drive Ordinance No. 25-XX; SUP # S-3XX

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *General Retail Store* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the <u>Site Plan</u> as depicted in *Exhibit 'B'* of this ordinance.
- 2) The *Minor Automotive Repair Garage* shall <u>not</u> have any *Outside Storage* associated with the use.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

 Upon obtaining a Certificate of Occupancy (CO), should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11, Development Applications and Revision Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 5TH DAY OF MAY, 2025.

Z2025-014: SUP for a Minor Automotive Repair Garage at 1460 T.L. Townsend Drive Ordinance No. 25-XX; SUP # S-3XX Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

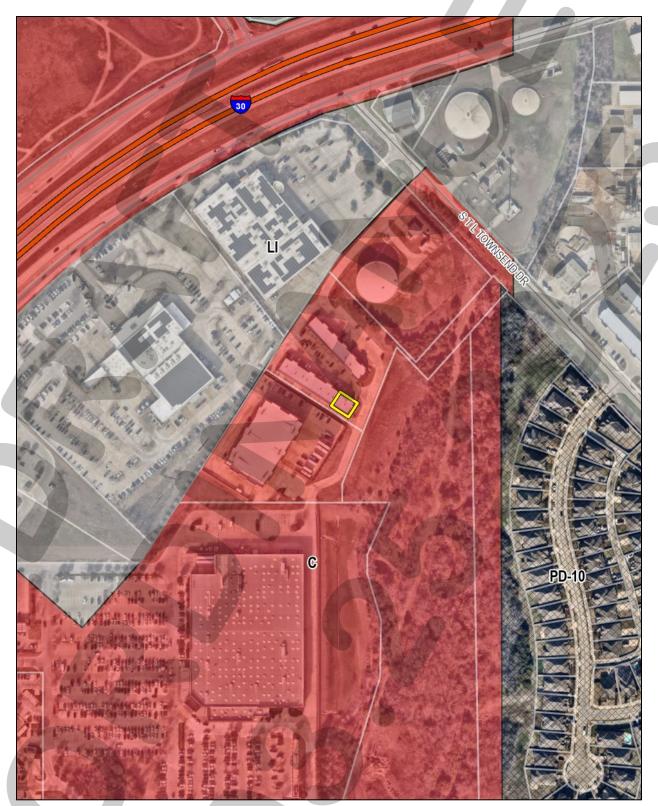
Frank J. Garza, City Attorney

1st Reading: <u>April 21, 2025</u> 2nd Reading: <u>May 5, 2025</u>

Z2025-014: SUP for a Minor Automotive Repair Garage at 1460 T.L. Townsend Drive Ordinance No. 25-XX; SUP # S-3XX

Exhibit 'A' Location Map

<u>Legal Description</u>: Lot 5, Block A, Platinum Storage Addition <u>Address</u>: 1460 T.L. Townsend Drive



Z2024-057: SUP for 1915 Alpha Drive Ordinance No. 25-<mark>XX</mark>; SUP # S-3<mark>XX</mark>

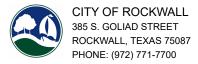
Page | 4

City of Rockwall, Texas



Z2025-014: SUP for a Minor Automotive Repair Garage at 1460 T.L. Townsend Drive Ordinance No. 25-XX; SUP # S-3XX

PROJECT COMMENTS



DATE: 3/20/2025

PROJECT NUMBER:	Z2025-015
PROJECT NAME:	SUP for Residential Infill
SITE ADDRESS/LOCATIONS:	403 S CLARK ST, B

CASE CAPTION: Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S. Clark Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Angelica Guevara	03/20/2025	Approved w/ Comments	

03/20/2025: Z2025-015; Specific Use Permit (SUP) for Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit for 403B S. Clark Street

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S. Clark Street.

1.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2025-015) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is the adjacent to the B.F. Boydstun Subdivision which has been in existence for more than ten (10) years, consists of 112 lots, and is more than 90% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

1.6 According to the Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), a Guest Quarters/Secondary Living Unit requires a Specific Use Permit (SUP) in a Single-Family 7 (SF-7) District.

1.7 The Conditional Land Use Standards for the Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit are as follows:

- (1) Guest Quarters or Secondary Living Units may be allowed on a property in a residential zoning district provided that it is ancillary to a single-family home.
- (2) The area of such quarters shall not exceed 30% of the area of the main structure.
- (3) No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the subdivision ordinance.

I.8 The proposed Guest Quarters/Secondary Living Unit will have a building footprint of 630 SF. The proposed square footage of the primary structure is 3,110 SF, which would allow a maximum Guest Quarters/Secondary Living Unit size of 933 SF. Based on this the proposed structure, which is only 626 SF, appears to conform to the requirements for Guest Quarters/Secondary Living Unit.

1.7 The height of the proposed Guest Quarters is 17-feet. The maximum height permitted for structures in a Single-Family 7 (SF-7) District is 32-feet. Based on this, the proposed height is in conformance with the development standards.

1.8 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:

1. The development of the Subject Property shall generally conform to the Site Plan and Survey as depicted in Exhibit 'B' of the Specific Use Permit (SUP) ordinance.

2. The construction of a Guest Quarters/Secondary Living Unit on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the Specific Use Permit (SUP) ordinance.

3. The Guest Quarters/Detached Garage shall not exceed a maximum size of 630 SF.

4. The Guest Quarters/Detached Garage shall not incorporate full kitchen facilities.

5. The Guest Quarters/Detached Garage shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.

I.9 According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), the Single-Family 7 (SF-7) District allows a total of two (2) accessory buildings each being 144 SF in size. If a property has an existing accessory building greater than 144 SF, no additional accessory buildings are permitted. In this case, the proposed guest quarters/secondary living unit is 626 SF and will be the only accessory structure on the subject property. Based on this, the building meets all of the requirements for a Guest Quarters/Secondary Living Unit.

1.10 Garage Requirements. Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the proposed garage is located 8-feet, ½-inch in front of the front façade of the home. This will be a discretionary decision for the Planning and Zoning Commission.

M.11 Ordinances. Please review the attached draft ordinance prior to the April 15, 2025 Planning & Zoning Commission meeting, and provide staff with your markups by April 1, 2025.

I.12 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 1, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 15, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.13 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on March 25, 2025, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on April 15, 2025.

1.14 City Council Meeting Dates. The projected City Council meeting dates for this case will be April 21, 2025 (1st Reading) and May 5, 2025 (2nd Reading).

I.15 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments
00/00/0005. 4 Ammendation of all			

03/20/2025: 1. Approx location of abandoned 6" sewer line. Will need to remove or fill pipe with a "structural" filler prior to placing structure over. City will not be liable/responsible

for any structural damage due to abandoned pipe

2. Need to show easement line. Home and fences cannot be located within easement.

3. Driveway to be constructed of reinforced concrete

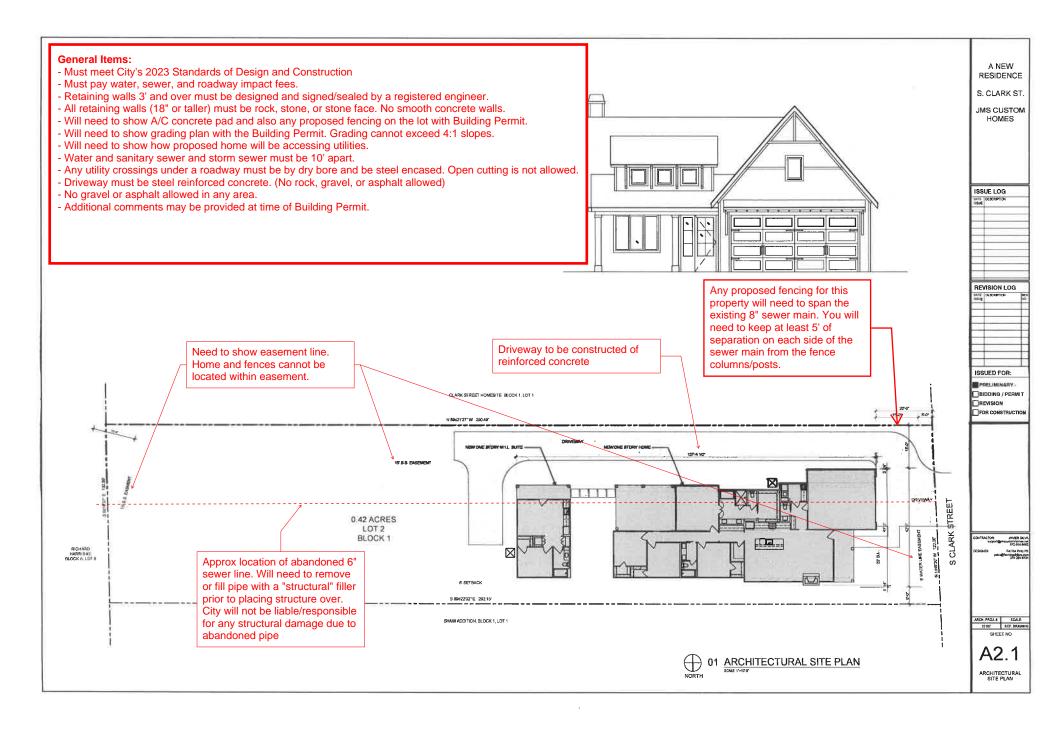
4. Any proposed fencing for this property will need to span the existing 8" sewer main. You will need to keep at least 5' of separation on each side of the sewer main from the fence columns/posts.

General Items:

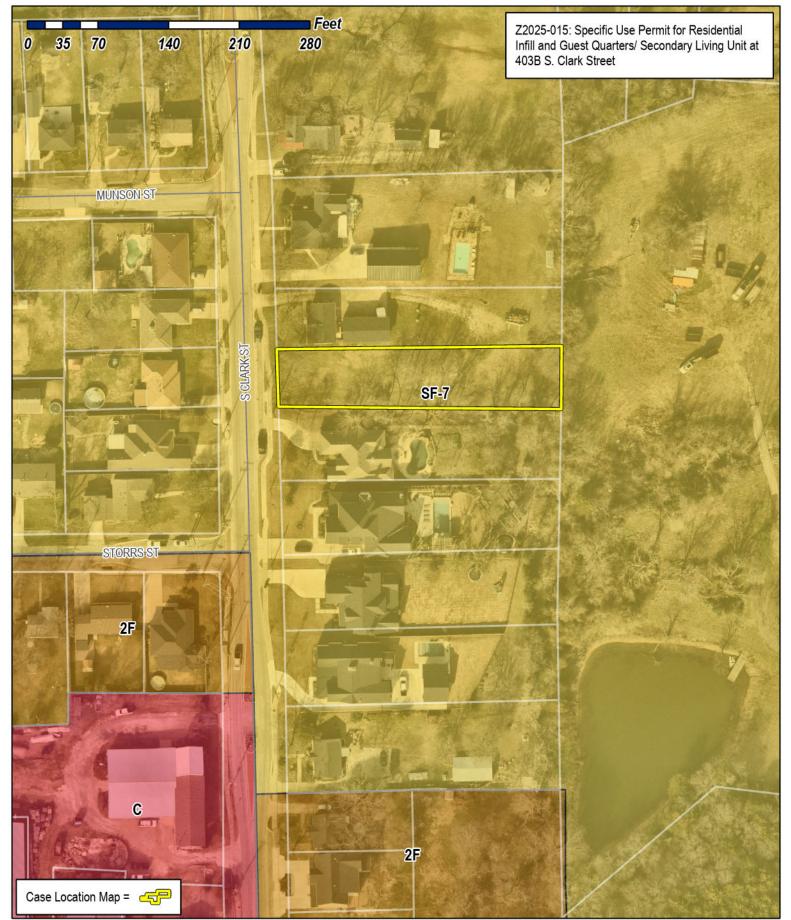
- Must meet City's 2023 Standards of Design and Construction
- Must pay water, sewer, and roadway impact fees.
- Retaining walls 3' and over must be designed and signed/sealed by a registered engineer.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- Will need to show A/C concrete pad and also any proposed fencing on the lot with Building Permit.
- Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.
- Will need to show how proposed home will be accessing utilities.
- Water and sanitary sewer and storm sewer must be 10' apart.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- Driveway must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No gravel or asphalt allowed in any area.
- Additional comments may be provided at time of Building Permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	03/20/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	03/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	03/17/2025	Approved w/ Comments	
03/17/2025: Existing structure	on Lot 1 will become 403-A South Clark St, Roc	ckwall, TX 75087		
New construction on Lot 2 will b	become 403-B South Clark St, Rockwall, TX 75	087		
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	03/17/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	03/17/2025	Approved	

No Comments



	DEVELOPMENT APPLICAT City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087	ION	STAFF USE ONLY PLANNING & ZONING CASE NO. NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:
PLEASE CHECK THE AF	PROPRIATE BOX BELOW TO INDICATE THE TYPE OF D	EVELOPME	NT REQUEST [SELECT ONLY ONE BOX]:
□ PRELIMINARY PL □ FINAL PLAT (\$300 □ REPLAT (\$300.00 □ AMENDING OR MI □ PLAT REINSTATE SITE PLAN APPLICA □ SITE PLAN (\$250.0	100.00 + \$15.00 ACRE) ¹ AT (\$200.00 + \$15.00 ACRE) ¹ .00 + \$20.00 ACRE) ¹ + \$20.00 ACRE) ¹ INOR PLAT (\$150.00) MENT REQUEST (\$100.00) <i>TION FEES:</i>		APPLICATION FEES: NG CHANGE (\$200.00 + \$15.00 ACRE) ¹ CIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2} EVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹ APPLICATION FEES: E REMOVAL (\$75.00) ANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ² RMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. 100 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING
		PERMIT.	
PROPERTY INFOR	MATION (PLEASE PRINT)	n	1 11 71 75:07
ADDRESS	403 BOZA Clark St Shaw Addition	-, Ko	ckwall TX 75087 LOT 2 BLOCK /
	Shaw Heldition		LOT 2 BLOCK
GENERAL LOCATION			
	N AND PLATTING INFORMATION [PLEASE PL		, 1
CURRENT ZONING	Residentia/	CURREN	et use Land Et use New Build
PROPOSED ZONING	Residentia/	PROPOSE	DUSE New Build
ACREAGE	0.42 LOTS [CURRENT]		LOTS [PROPOSED]
SITE PLANS AND P REGARD TO ITS AP RESULT IN THE DEN	PROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STA	DUE TO TH FF'S COMME	IE PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH ENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL
OWNER/APPLICA	NT/AGENT INFORMATION [PLEASE PRINT/CHECK	(THE PRIMA	RY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
□ OWNER	JMS Custon Homes		CANT Javier Silva
		NTACT PER	RSON Javier Silva
ADDRESS	58 windsor DR.	ADDF	ress 58 windsor DR-
CITY, STATE & ZIP	Rockwall TX 75032 "	ITY, STATE	&ZIP Rockwall TX 25032
	0172-814-9462		HONE 972-814-9462
E-MAIL S	upport @JmS Custom homes.n	et E-	-MAIL Supporto JIMS Guston hones. ret
NOTARY VERIFICA BEFORE ME, THE UNDERSI	1.	Tavi	ICY SI/VA [OWNER] THE UNDERSIGNED, WHO
INFORMATION CONTAINED	TO COVER THE COST OF THIS APPLICATION, HAS BE	EEN PAID TO T HAT THE CITY SO AUTHORIZ	Y OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE ZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION
GIVEN UNDER MY HAND AN	ID SEAL OF OFFICE ON THIS THE It DAY OF Marc	h	2025
NOTARY PUBLIC IN AND FO	OWNER'S SIGNATURE	ens-	AMANDA PACHECO Notary ID #124459996 My Commission Expires My Commission Expires
DEVI	ELOPMENT APPLICATION • CITY OF ROCKWALL • 385 SOUTH	H GOLIAD STI	





City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



City of Rockwall The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide Planning & Zoning Department timely and accurate information, we make no guarantees. The City of 385 S. Goliad Street Rockwall makes no warranty, express or implied, including warranties of Rockwall, Texas 75087 merchantability and fitness for a particular purpose. Use of the information (P): (972) 771-7745 is the sole responsibility of the user. (W): www.rockwall.com Feet 330 660 2,640 1,320 1,980 0 205 66 20 Bent Creek Park Place Stonebridge Condos Meadows S GOLIAD Highridge Estates Legend **Rockwall HOAs** Subject Property 8 1500 Foot Buffer I KINGBLUD NHOLM Z2025-015 **Case Number:** 205 66 LIL-LIAN S ELM Specific Use Permit (SUP) for Case Name: OLIVE-ST Residential Infill & Guest Quarters/ KING BLVD E-KAUFMAN ST E-WASHINGTON-ST Secondary Living Unit Case Type: Zoning Zoning: Single-Family 7 (SF-7) District WAYDR-B WDUSTRIAL-BLV 403B S. Clark Street Case Address: ₽0YDSTUNAVE -PARK-PV EROSS-ST

RIDGE

JUSTIN-RD

Date Saved: 3/14/2025

For Questions on this Case Call (972) 771-7745

From:	Zavala, Melanie
Cc:	Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica
Subject:	Neighborhood Notification Program [Z2025-015]
Date:	Wednesday, March 19, 2025 9:43:50 AM
Attachments:	Public Notice (03.17.2025).pdf HOA Map (03.19.2025).pdf

HOA/Neighborhood Association Representative:

Per your participation in the <u>Neighborhood Notification Program</u>, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on <u>Friday, March 21, 2025</u>. The Planning and Zoning Commission will hold a public hearing on <u>Tuesday, April 15, 2025 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, April 21, 2025 at 6:00 PM</u>. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to <u>Planning@rockwall.com</u> at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <u>https://sites.google.com/site/rockwallplanning/development/development-cases.</u>

Z2025-015: Specific Use Permit (SUP) for a Residential Infill and a Guest Quarters/ Secondary Living Unit Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S. Clark Street, and take any action necessary.

Thank you,

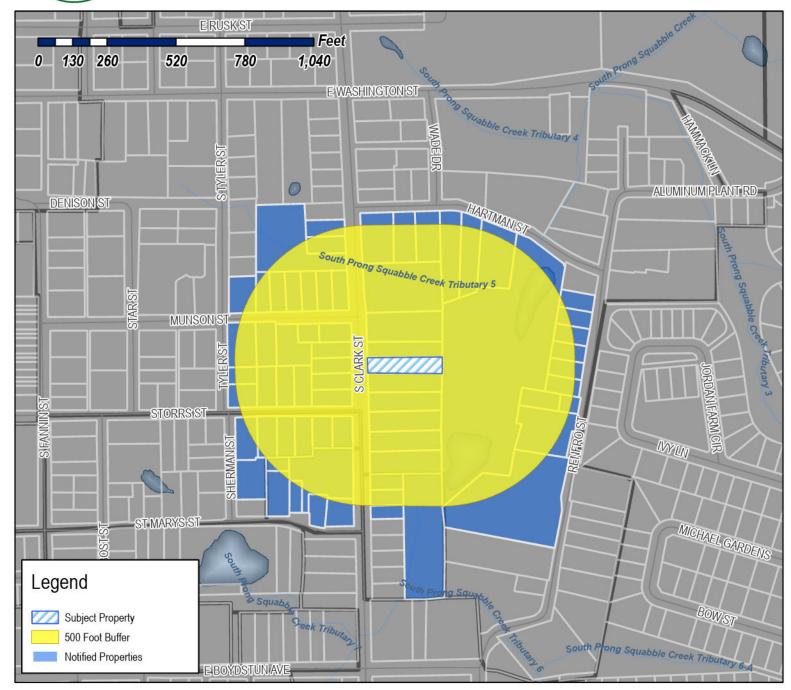
Melanie Zavala

Planning & Zoning Coordinator | Planning Dept.| City of Rockwall 385 S. Goliad Street | Rockwall, TX 75087 <u>Planning & Zoning Rockwall</u> 972-771-7745 Ext. 6568 City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

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Case Number: Case Name:	Z2025-015 Specific Use Permit (SUP) for Residential Infill & Guest Quarters/ Secondary Living Unit
Case Type:	Zoning
Zoning:	Single-Family 7 (SF-7) District
Case Address:	403B S. Clark Street

Date Saved: 3/14/2025

For Questions on this Case Call: (972) 771-7745



MCCALLUM V LLC DARRELL ALAN MCCALLUM AND SHARON FRANCES MCCALLUM AS MEMBERS 1 SOAPBERRY LN ROCKWALL, TX 75087

> HOGUE MIKE 1498 HUBBARD DRIVE FORNEY, TX 75126

RICHARD HARRIS AND JUDY HARRIS FAMILY TRUST RICHARD AND JUDY HARRIS- TRUSTEES 210 GLENN AVENUE ROCKWALL, TX 75087

> CONFIDENTIAL 2420 Conrad Cir Heath, TX 75032

RESIDENT 306 S CLARK ST ROCKWALL, TX 75087

CLARK STREET VENTURES LLC 401 COUNTRY RIDGE RD ROCKWALL, TX 75087

> SADLER LESLIE A 402 S CLARK ST ROCKWALL, TX 75087

> RESIDENT 404 S CLARK ST ROCKWALL, TX 75087

TOVAR LUIS & MARICELA 405 TYLER ST ROCKWALL, TX 75087

BOWEN CHASE AND PERRY BOWEN 407 S. CLARK ST. ROCKWALL, TX 75087 OLIVARES JAIME 1209 QUAIL DR GARLAND, TX 75040

BOREN TERRY L ETUX 207 GNARLY OAKS WAY LTL RVR ACAD, TX 76554

CASTRO DEVELOPMENT LLC 2212 Ridge Crest Dr Richardson, TX 75080

> CAUBLE LINDA 301 S CLARK ST ROCKWALL, TX 75087

> RESIDENT 307 S CLARK ST ROCKWALL, TX 75087

COMBS MARK HILTON AND VERONICA RUTH 401 SOUTH CLARK STREET ROCKWALL, TX 75087

> LIVINGSTON JUSTIN AND BROOKE 403 S CLARK STREET ROCKWALL, TX 75087

BRAMLETT DAVID KYLE & DEIDRE MONIQUE 405 S CLARK ST ROCKWALL, TX 75087

> RESIDENT 406 RENFRO ST ROCKWALL, TX 75087

RESIDENT 408 RENFRO ST ROCKWALL, TX 75087 GADDIS DANNY E 12922 EPPS FIELD RD FARMERS BRANCH, TX 75234

LOWREY SUSAN 2070 PONTCHARTRAIN DR ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC 2241 AUBURN AVE DALLAS, TX 75214

BURGESS JULIA ANN 302 S CLARK ST ROCKWALL, TX 75087

STARK ROBERT SCOTT 3090 N GOLIAD ST SUITE 102 #213 ROCKWALL, TX 75087

> RESIDENT 402 RENFRO ST ROCKWALL, TX 75087

RESIDENT 404 RENFRO ST ROCKWALL, TX 75087

TOVAR LUIS & MARICELA 405 TYLER ST ROCKWALL, TX 75087

RESIDENT 406 S CLARK ST ROCKWALL, TX 75087

GADDIS CAMILLE D 408 SOUTH CLARK STREET ROCKWALL, TX 75087

RESIDENT 410 RENFRO ST ROCKWALL, TX 75087

RESIDENT 500 RENFRO ST ROCKWALL, TX 75087

BRYAN KYLE AND HALEY BROOKE BOWEN 501 S CLARK ST ROCKWALL, TX 75087

> **RICHARDSON JEANETTE** 503 MUNSON ST ROCKWALL, TX 75087

RESIDENT 505 MUNSON ST ROCKWALL, TX 75087

WYCKOFF MICHELF M 507 MUNSON ST ROCKWALL, TX 75087

CIELO BLUE FAMILY HOLDINGS LLC - SERIES 1 **508 HIGHVIEW LANE** ROCKWALL, TX 75087

> RESIDENT 510 S CLARK ROCKWALL, TX 75087

> RESIDENT 512 S CLARK ROCKWALL, TX 75087

> RESIDENT 601 STORRS ST ROCKWALL, TX 75087

SIMS CHRIS AND TERESA 410 S CLARK ST ROCKWALL, TX 75087

RESIDENT 501 SHERMAN ST ROCKWALL, TX 75087

HOLLAND TRENTON A AND ROD HOLLAND **502 MUNSON STREET** ROCKWALL, TX 75087

GARTH GARY AND CYNTHIA 503 SOUTH CLARK ST ROCKWALL, TX 75087

RESIDENT 506 RENFRO ST ROCKWALL, TX 75087

507 S CLARK ST ROCKWALL, TX 75087

RESIDENT 509 MUNSON ST ROCKWALL, TX 75087

RESIDENT 511 MUNSON ST ROCKWALL, TX 75087

RESIDENT 513 MUNSON ST ROCKWALL, TX 75087

LEE STEPHANIE 602 Storrs St Rockwall, TX 75087

RESIDENT 412 RENFRO ST ROCKWALL, TX 75087

HUDSON KATIE 501 MUNSON ST ROCKWALL, TX 75087

SAMPLES ELVA NELL 502 RENFRO ST ROCKWALL, TX 75087

RESIDENT 504 MUNSON ST ROCKWALL, TX 75087

EARNHEART JOHN L 506 MUNSON ST ROCKWALL, TX 75087

RESIDENT 508 MUNSON ST ROCKWALL, TX 75087

CASTRO RENE AND BETSY **509 SOUTH CLARK STREET** ROCKWALL, TX 75087

RESIDENT 511 S CLARK ST ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND NORMA L CRUZ HERNANDEZ 513 S CLARK ST ROCKWALL, TX 75087

> JONES PEGGY 604 STORRS ST ROCKWALL, TX 75087

LECOUR DAVID & RENEE

DAVIS JIMMY JACK 605 STORRS ST ROCKWALL, TX 75087

HALDEMAN MICHAEL 607 STORRS ST ROCKWALL, TX 75087

JOHNSTON SHERRI A 610 STORRS ST ROCKWALL, TX 75087

RESIDENT 613 ST MARYS PL ROCKWALL, TX 75087

501 SHERMAN, A SERIES OF STARK FAMILY PROPERTIES, LLC 710 AGAPE CIR ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN 712 HARTMAN ST ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C 880 IVY LANE ROCKWALL, TX 75087

> DEL BOSQUE RODOLFO PO BOX 2437 ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D 606 STORRS STREET ROCKWALL, TX 75087

> RESIDENT 608 STORRS ST ROCKWALL, TX 75087

H & M TOOL AND DIE CO 611 SAINT MARY ST ROCKWALL, TX 75087

RESIDENT 706 HARTMAN ST ROCKWALL, TX 75087

507-509 SHERMAN, A SERIES OF STARK FAMILY PROPERTIES, LLC C/O ROBERT STARK 710 AGAPE CIR ROCKWALL, TX 75087

> HOOVER LINDA WEST-716 HARTMAN STREET ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC 904 CAMPTON CT ROCKWALL, TX 75032

DEL BOSQUE RODOLFO PO BOX 2437 ROCKWALL, TX 75087 RESIDENT 607 ST MARY ROCKWALL, TX 75087

RESIDENT 609 STORRS ST ROCKWALL, TX 75087

RESIDENT 612 STORRS ST ROCKWALL, TX 75087

MOORE LAKISHA Q AND JASON 708 HARTMAN ST ROCKWALL, TX 75087

RENDON MARCELINO J JR 710 HARTMAN ST ROCKWALL, TX 75087

SIMMONS JOHN V & JOAN M 802 AGAPE CIR ROCKWALL, TX 75087

TUTTLE LEON ETUX 963 W Yellowjacket Ln Apt 122 Rockwall, TX 75087

> AUBE JEAN-PAUL III PO BOX 868 ROCKWALL, TX 75087

PUBLIC NOTICE

CITY OF ROCKWALL PLANNING AND ZONING DEPARTMENT PHONE: (972) 771-7745 EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-015: Specific Use Permit (SUP) for Residential Infill and a Guest Quarters/ Secondary Living Unit

Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday, April 15, 2025 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, April 21, 2025 at 6:00 PM</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

- - PLEASE RETURN THE BELOW FORM

Case No. Z2025-015: Specific Use Permit (SUP) for Residential Infill and a Guest Quarters/ Secondary Living Unit

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

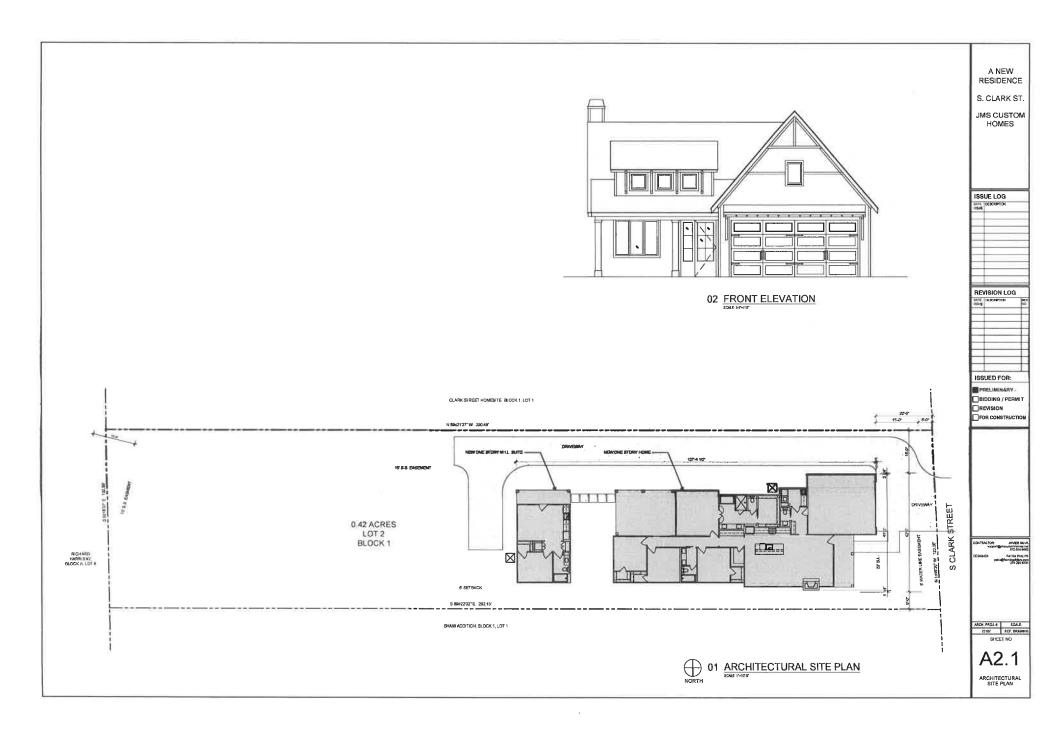
I am opposed to the request for the reasons listed below.

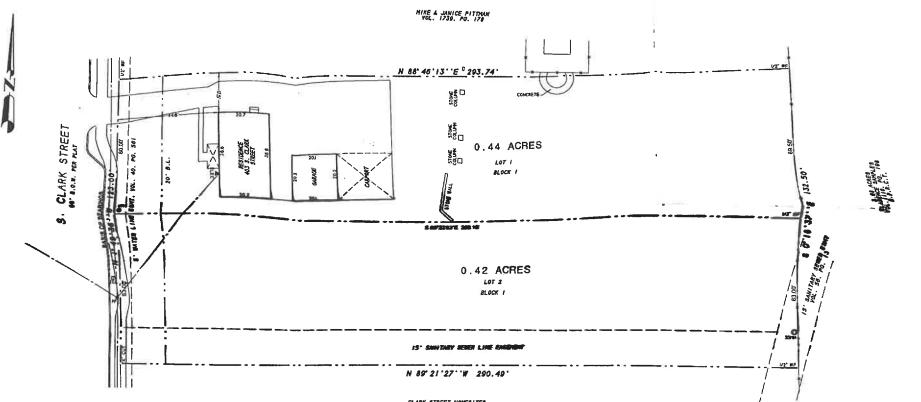
Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





CLARK STREET HOMESITES CABINET F. SLIDE 41 F.R.R.C.T.

S.MATROPPEDER

CATE

DESCRIPTION

Lots 1 and Lot 2, Block 1, Shaw Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet G, Side 169, Plat Records, Rockwall County, Texas.

NOTES 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.

2) BEARING SOURCE: RECORDED PLAT.

3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

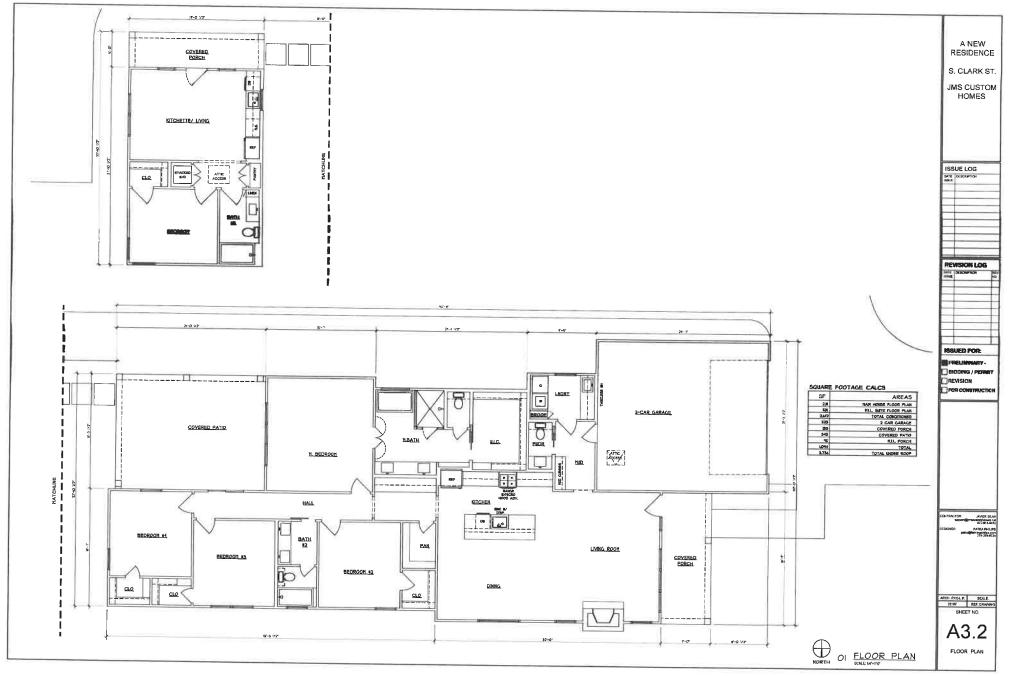
I Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Ranger Title Company. The Resources Guaranty Company, Homebank plats of Lists and Brooke Uningstant at 403 South Clark Street, Rockwall Control, Texas, is the least of a careful collection of the best evidence available to me and my opinion is based on the facts as around at the time of surveys. This survey meets the requirements of the Minimum Standards of Practices as approved and published by the Texas Board of Professional Land Surveying, effective Septemper 1, 1922 and subsequent revisions, and the same was surveyed under my supervision on the ground the the 20th day of July, 2020. OF

HAROLD D. FETTY SYMBOL LECE S. 7.027 1. NO SURVEYO Harold D. Felly III, R.P.L.S. No. 5034 -----4 X

SURVEY DATE _JULY 20, 2020 SCALE 1." - 20." FILE # 2020/991880 CLIDH LIVINGSTON GF# _R201704R

11

H.D. Fetty Land Surveyor, LLC



CITY OF ROCKWALL

ORDINANCE NO. <u>25-XX</u>

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME AND GUEST QUARTERS/SECONDARY LIVING UNIT ON A 0.42-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK 1, SHAW ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Javier Silva of JMS Custom Homes for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision and Guest Quarters/Secondary Living Unit on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S, Clark Street, and being more specifically described and depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the Subject Property and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* and a *Guest Quarters/Secondary Living Unit* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and

with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the <u>Residential Plot Plan</u> as depicted in *Exhibit 'B'* of this ordinance.
- The construction of a single-family home and guest quarters/secondary living unit on the Subject Property shall generally conform to the <u>Building Elevations</u> depicted in Exhibit 'C' of this ordinance.
- 3) The Guest Quarters/Secondary Living Unit shall not exceed a maximum of 630 SF.
- 4) The Guest Quarters/'Secondary Living Unit shall not incorporate full kitchen facilities.
- 5) The *Guest Quarters/Secondary Living Unit* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- 6) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

 Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11, Development Applications and Revision Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid,

the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 5th DAY OF MAY, 2025.

	Trace Johannesen, <i>Mayor</i>	
ATTEST:		
Kristy Teague, <i>City Secretary</i>		
Frank J. Garza, <i>City Attorney</i>		
1 st Reading: <u><i>April</i> 21, 2025</u>		
2 nd Reading: <u>May 5, 2025</u>		
Z2025-015: SUP for 403B S. Clark Street	Page 3 City of Rockwall, Te	

Ordinance No. 25-XX; SUP # S-3XX

Exhibit 'A': Location Map

<u>Address:</u> 403B S. Clark Street <u>Legal Description:</u> Lot 2, Block 1, Shaw Addition



Z2025-015: SUP for 403B S. Clark Street Ordinance No. 25-XX; SUP # S-3XX

City of Rockwall, Texas

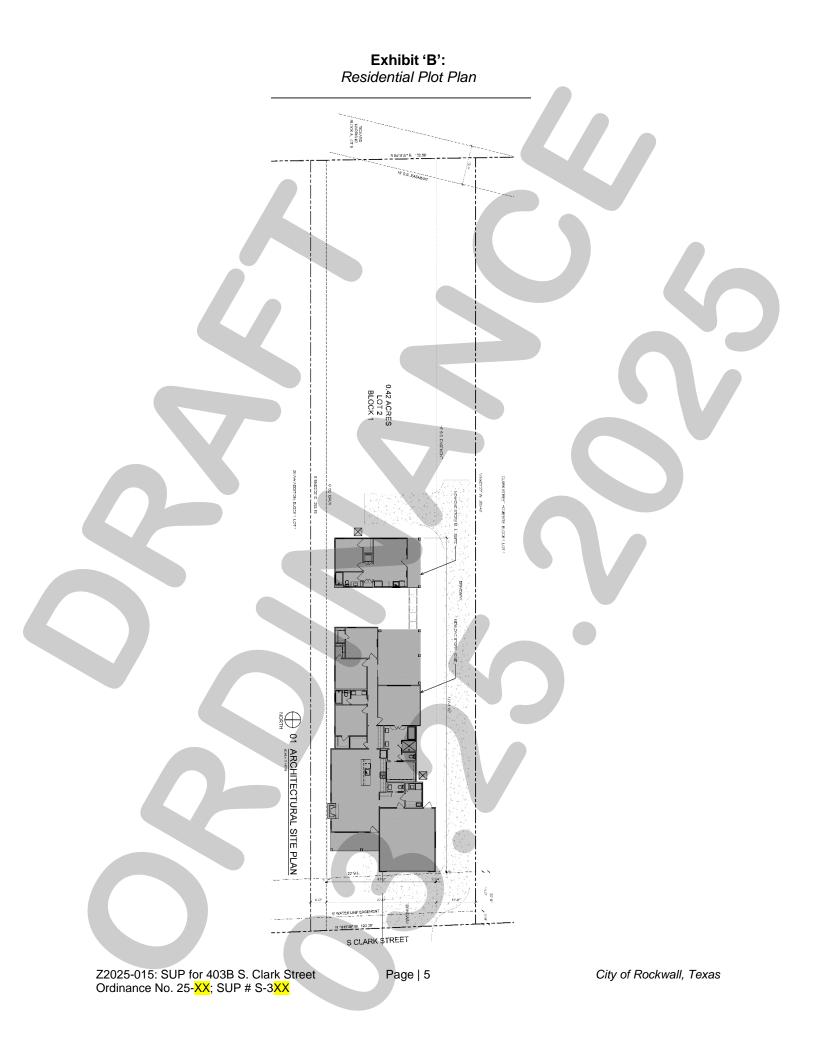


Exhibit 'C': Building Elevations

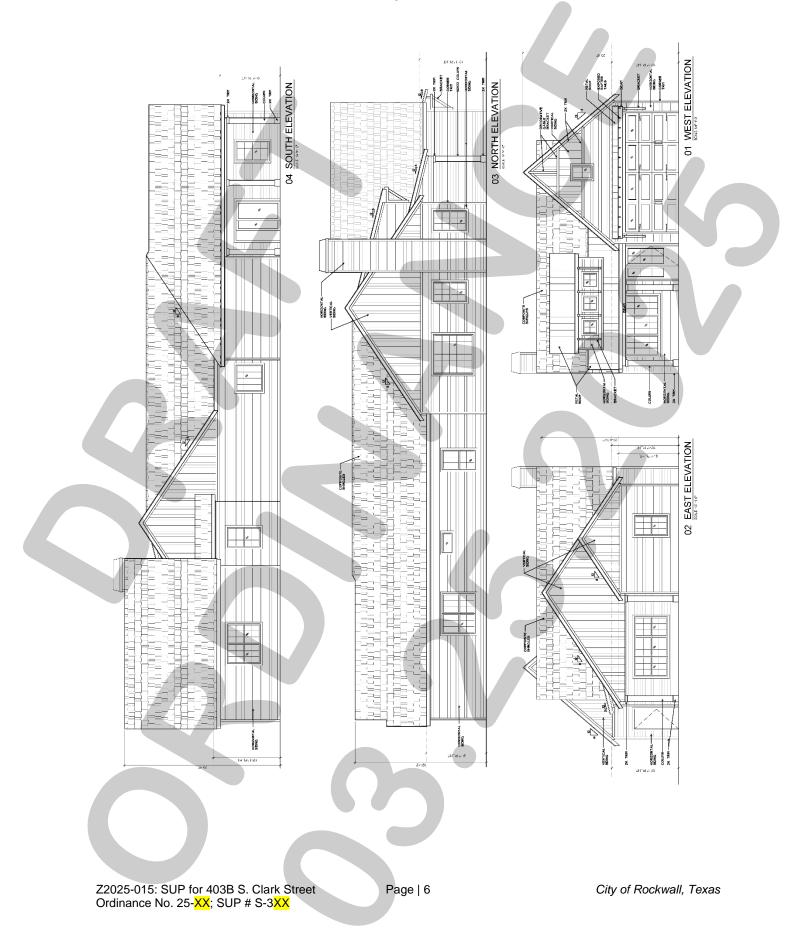
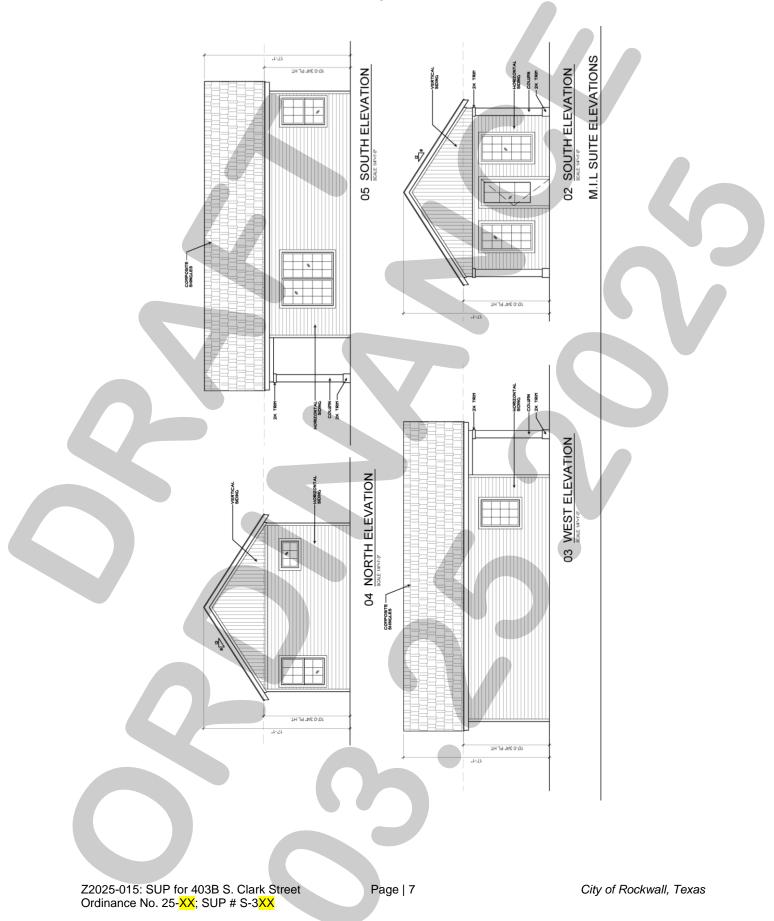
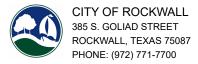


Exhibit 'C': Building Elevations



PROJECT COMMENTS



DATE: 3/21/2025

PROJECT NUMBER:	Z2025-016
PROJECT NAME:	SUP for Accesory Building
SITE ADDRESS/LOCATIONS:	2201 SANDERSON LN

CASE CAPTION: Hold a public hearing to discuss and consider a request by Ryan Joyce for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 2.71-acre parcel of land identified as Lot 6, Block B, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) [Ordinance No. 19-26] for Single-Family 1 (SF-1) District land uses, addressed as 2201 Sanderson Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Henry Lee	03/21/2025	Approved w/ Comments	

03/21/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 2.71-acre parcel of land identified as Lot 6, Block B, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) [Ordinance No. 19-26] for Single-Family 1 (SF-1) District land uses, addressed as 2201 Sanderson Lane.

1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2025-016) in the lower right-hand corner of all pages on future submittals.

I.4 The subject property is zoned Planned Development District 88 (PD-88) and is subject to the Single-Family 1 (SF-1) District accessory structure requirements. According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), accessory buildings in a Single-Family 1 (SF-1) District shall meet the following requirements:

- (1) Number of Accessory Structures Permitted per Lot: 2
- (2) Maximum SF of Accessory Building: 144 SF
- (3) Minimum Rear Yard Setback: 50-Feet
- (4) Minimum Side Yard Setback: 25-Feet
- (5) Distance Between Buildings: 6-Feet
- (6) Maximum Building Height: 15-Feet

In addition, if there is an existing accessory building greater than 144-SF no additional accessory buildings or structures are permitted.

1.5 The proposed Accessory Building is 4,000 SF with a 1,300 SF canopy, for a total of 5,300 SF. In addition, the proposed Accessory Building is approximately 24.42-feet in height or roughly 19.21-feet at the midpoint of the roof. Based on this, the applicant is requesting a Specific Use Permit (SUP) for an Accessory Building that exceeds the maximum permissible size and height.

1.6 According to the Planned Development District 88 (PD-88) Standards, (1) all building façades shall incorporate 80% masonry material, and (2) the minimum roof pitch is 8:12. In this case, there are no proposed masonry materials, and the proposed building utilizes a 5:12 and 3:12 roof pitch. These items will be considered by the City Council and the Planned and Zoning Commission as part of this request.

1.7 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:

(1) The development of the Accessory Building shall generally conform to the Site Plan as depicted in Exhibit 'B' of the Specific Use Permit (SUP) ordinance.

(2) The Accessory Building shall generally conform to the Building Elevations as depicted in Exhibit 'C' of the Specific Use Permit (SUP) ordinance.

(3) The Accessory Building shall not exceed a maximum size of 5,400 SF.

(4) The Accessory Building shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.

(5) No additional Accessory Buildings may be constructed on the Subject Property.

M.8 Please review the attached Draft Ordinance prior to the March 25, 2025 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than April 1, 2025. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 1, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 15, 2025 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on March 25, 2025.

1.10 The projected City Council meeting dates for this case will be April 21, 2025 (1st Reading) and May 5, 2025 (2nd Reading).

M.11 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission or City Council may have regarding your request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments

03/20/2025: 1. Show and label septic system

2. RCP culvert to be engineered for crossing of the drainage and detention easement and sized for the 100 year flow.

3. Finished pad must be a minimum of 2' above the 100 year water surface of the detention pond (100 yr water surface = 563.00)

General Items:

- Must meet City's 2023 Standards of Design and Construction

- Retaining walls 3' and over must be designed and signed/sealed by a registered engineer.

- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.

- Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.

- Driveway extension must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)

- No gravel or asphalt allowed in any area.

- Additional comments may be provided at time of Building Permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/20/2025	Needs Review

03/20/2025: * Carports shall be a maximum of 500 square feet and be architecturally integrated and compatible to the primary structure

* Roof pitch - A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which have a minimum of 4:12 roof pitch

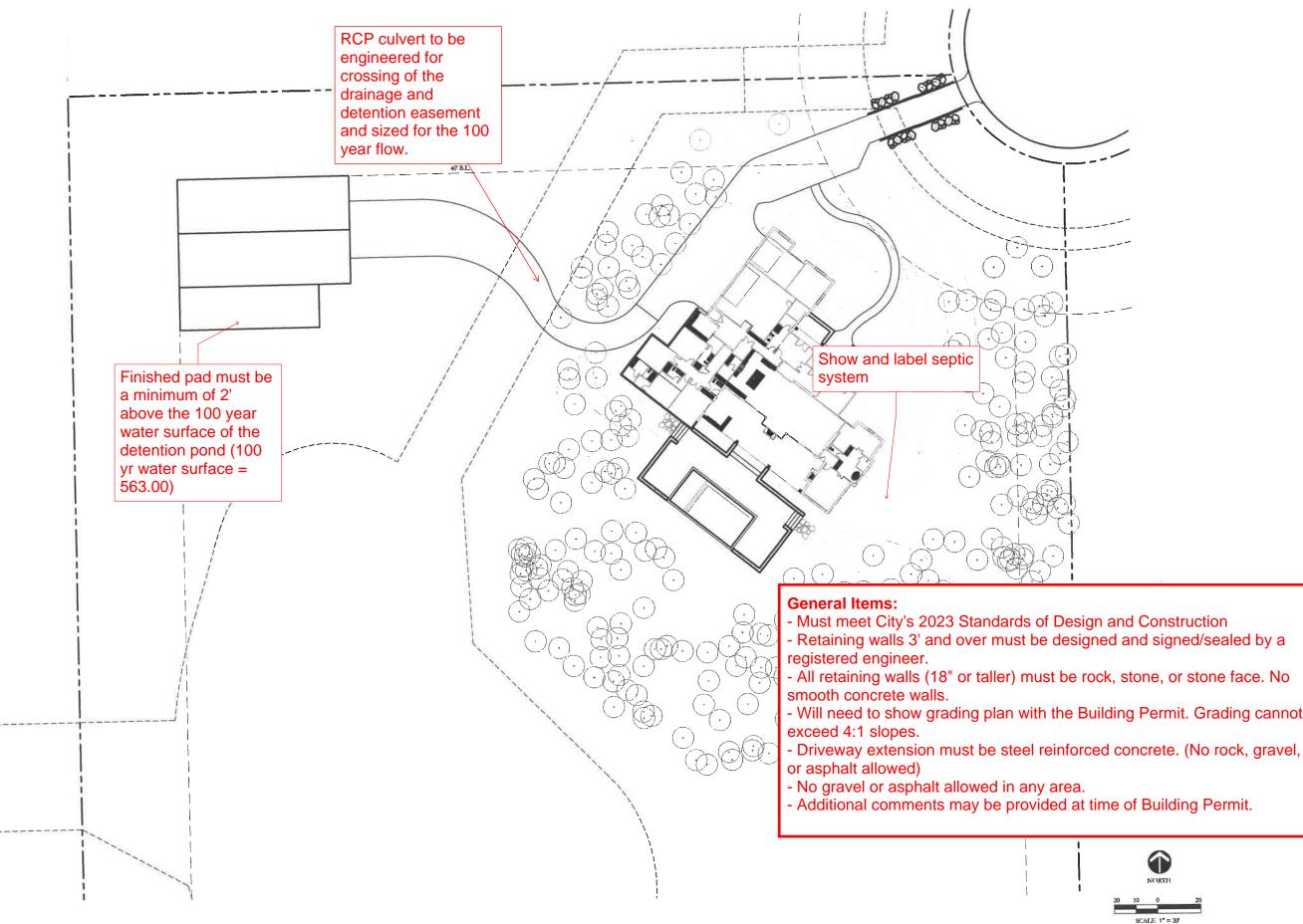
* Masonry Requirement. The minimum masonry requirement for the exterior façades of

all buildings shall be 80%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard horizontal lap-siding (e.g. HardiBoard or Hardy Plank) and stucco (i.e. three [3] part stucco or a comparable -- to be determined by staff) may be used for up to 50% of the masonry requirement.

* Maximum height is 15 feet

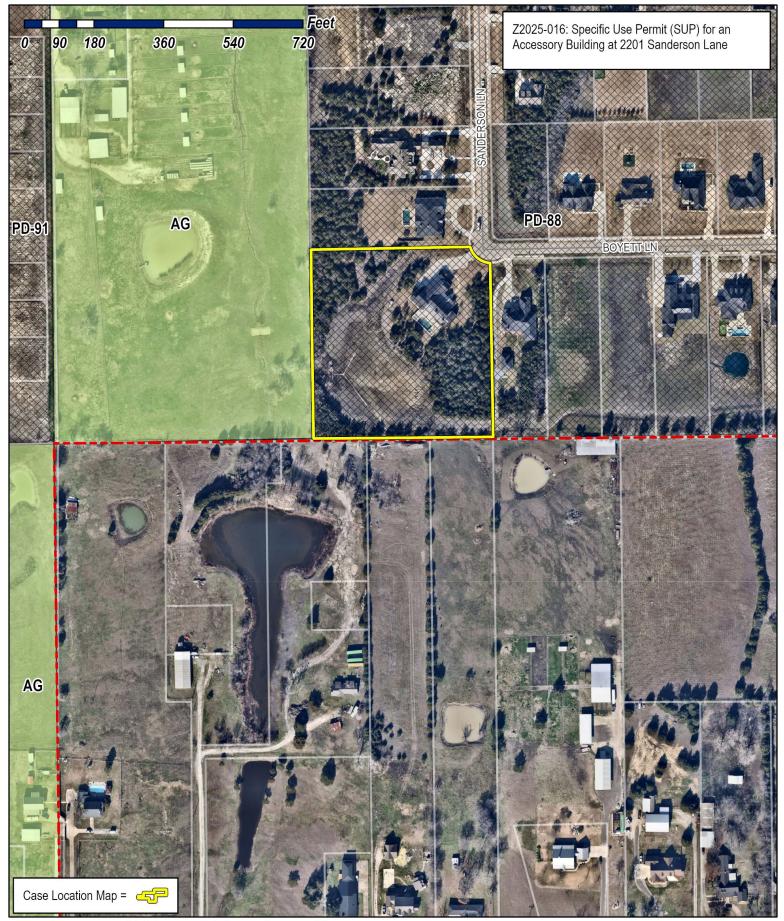
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	03/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	03/17/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	03/17/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	03/17/2025	Approved	
No Comments				

No Comments



515 Sander lore

			r STAFF USE ONLY
	DEVELOPMENT APPLICA	TION	PLANNING & ZONING CASE NO.
	City of Rockwall		NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE
	Planning and Zoning Department		SIGNED BELOW.
	385 S. Goliad Street		DIRECTOR OF PLANNING:
	Rockwall, Texas 75087		CITY ENGINEER:
PLEASE CHECK THE A	PPROPRIATE BOX BELOW TO INDICATE THE TYPE OF	DEVELOPME	ENT REQUEST [SELECT ONLY ONE BOX]:
PLATTING APPLICA	(<i>TION FEES:</i> (100.00 + \$15.00 ACRE) ¹		G APPLICATION FEES: ING CHANGE (\$200.00 + \$15.00 ACRE) ¹
PRELIMINARY PI	LAT (\$200.00 + \$15.00 ACRE) 1	SPEC	CIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 & 2 5. 22
CI FINAL PLAT (\$30 CI REPLAT (\$30.00)	0.00 + \$20.00 ACRE) ¹) + \$20.00 ACRE) ¹	11	DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 APPLICATION FEES:
	1INOR PLAT (\$150.00) EMENT REQUEST (\$100.00)		E REMOVAL (\$75.00)
SITE PLAN APPLIC		NOTES:	IANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²
SITE PLAN (\$250	.00 + \$20.00 ACRE) 1	PER ACRE	RMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. 0.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT
	PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)		CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING
	RMATION [PLEASE PRINT]		
	2201 Sanderson Ln Rock		
	North Grate		LOT 🗽 BLOCK 🕃
	intersection of Sonderson Ly		Doyeth St.
	AN AND PLATTING INFORMATION [PLEASE		
CURRENT ZONING	6B	CURREN	NT USE SF
PROPOSED ZONING		PROPOSE	ED USE
ACREAGE	LOTS [CURRENT]		LOTS [PROPOSED]
SITE PLANS AND	PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE TH	T DUE TO TH	HE PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH
	PPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF S. NIAL OF YOUR CASE.	IAFF'S COMME	ENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL
OWNER/APPLICA	NT/AGENT INFORMATION [PLEASE PRINT/CHE	CK THE PRIMA	ARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
OWNER '	Prichael Rran Drice		ICANT
CONTACT PERSON	Ryon Joyce (CONTACT PER	RSON
ADDRESS	2201 Sonderson Im	ADDI	DRESS
	Rock wall, TX		
CITY, STATE & ZIP	Rock well, 7× 7508-7	CITY, STATE	E & ZIP
	512-925-6280	Pł	HONE
E-MAIL	Chan @ michael Jorce properties. com	E-	E-MAIL
NOTARY VERIFIC	SIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED	Michae	1 2 Joy 2 [OWNER] THE UNDERSIGNED, WHO
	IN ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE F		
\$ 278,30	, TO COVER THE COST OF THIS APPLICATION, HAS	BEEN PAID TO 1	I SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF THE CITY OF ROCKWALL ON THIS THE DAY OF
	2022. By signing this application, I agree Within this application to the public. The City is A ON with this application, if such reproduction is assoc	LSO AUTHORIZ	TY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE IZED AND PERMITTED TO FEDERATION AND ADDRESS FOR PROVIDENT ON ESPONSE TO A REQUEST FOR PUBLIC INFORMATION."
	IN WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOC		Notary ID #129471150
GIVEN UNDER WIT MANUP	OWNER'S SIGNATURE		20 - / My Commission Expires June 25, 2025
NOTARY PUBLIC IN AND F		shu	Weid MY COMMISSION EXPIRES 6-25-25





City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

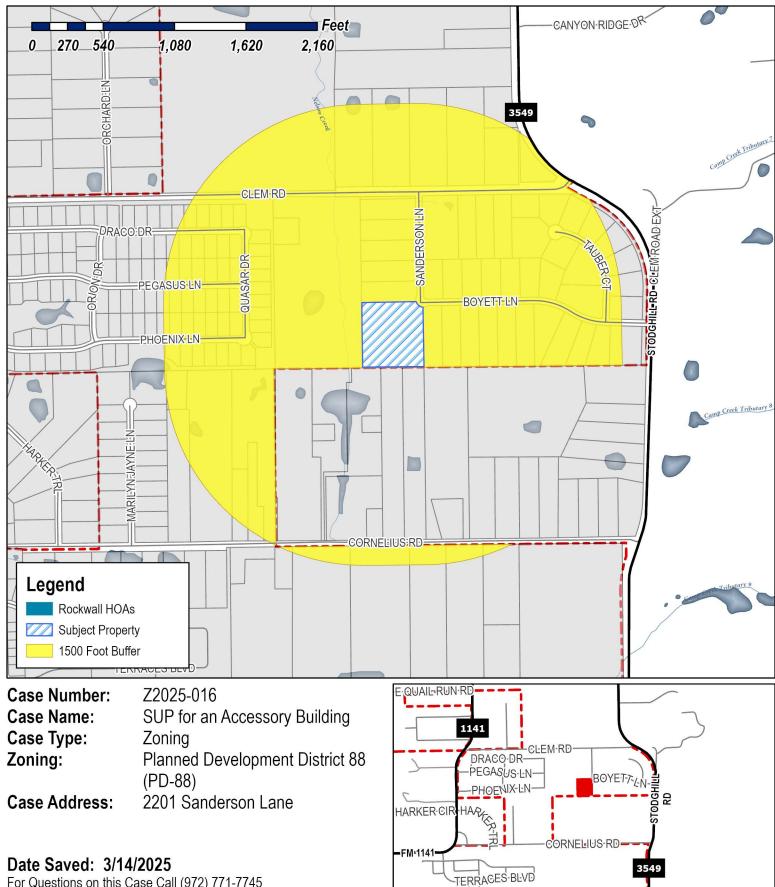


City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

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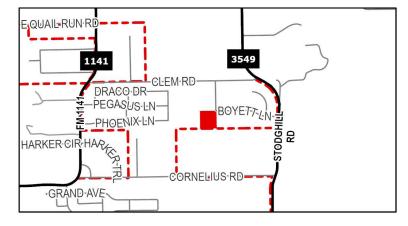




For Questions on this Case Call (972) 771-7745

City of Rockwall Planning & Zoning Department 385 S. Goliad Street The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of Rockwall, Texas 75087 merchantability and fitness for a particular purpose. Use of the information (P): (972) 771-7745 (W): www.rockwall.com is the sole responsibility of the user. Feet 1,080 0 135 270 540 810 CLEM RD TAUBERCT DRACO DR SANDERSON LN **JASAR DR** PEGASUS LN g BOYETT LN PHOENIX LN Legend Subject Property 500 Foot Buffer Notified Properties

Case Number:Z2025-016Case Name:SUP for an Accessory BuildingCase Type:ZoningZoning:Planned Development District 88
(PD-88)Case Address:2201 Sanderson Lane



Date Saved: 3/14/2025 For Questions on this Case Call: (972) 771-7745 MCCALLUM CRAIG WILLIAM 1983 N STODGHILL RD ROCKWALL, TX 75087

JOYCE MICHAEL RYAN AND MEREDITH MCLEROY 2201 SANDERSON LN ROCKWALL, TX 75087

SANDERSON PERRY AND AMY 2207 SANDERSON LN ROCKWALL, TX 75087

RESIDENT 2213 SANDERSON LN ROCKWALL, TX 75087

OWNBY MITCH AND SANDRA 255 COUNTRY CLUB DR HEATH, TX 75032

RECHTIENE JOSEPH S AND LARISA A 619 ELEANOR DRIVE FATE, TX 75087

> COUCH DAVID AND JULIE **803 BOYETT LN** ROCKWALL, TX 75087

PAYNE ADAM LAND ELIZABETH A 808 BOYETT LN ROCKWALL, TX 75087

> RESIDENT 819 BOYETT LN ROCKWALL, TX 75087

CONFIDENTIAL 89 Stone Hinge Dr Fairview, TX 75069

RESIDENT 2219 SANDERSON LN ROCKWALL, TX 75087

WALRAVEN KEITH & MEREDITH 402 FLORENCE DR FATE, TX 75087

> MASON RICHARD L 682 CANNON DRIVE

RESIDENT 804 BOYETT LN

RESIDENT 813 BOYETT LN ROCKWALL, TX 75087

MEREDITH WILLIAM AND AMBER 820 BOYETT LN ROCKWALL, TX 75087

STANLEY STEVEN B AND ROBIN C 891 CLEM RD ROCKWALL, TX 75087

RESIDENT 2225 SANDERSON LN ROCKWALL, TX 75087

RESIDENT 611 CLEM RD ROCKWALL, TX 75087

BATES CHARLES 7540 EDNA COURT #5509 PLANO, TX 75024

RESIDENT 807 BOYETT LN ROCKWALL, TX 75087

WOLFE RYAN & RACHEL 814 BOYETT LN ROCKWALL, TX 75087

TUCKER JANA 835 CLEM RD ROCKWALL, TX 75087

NAKAMURA DEREK & CAITLYN 9620 COLQUITT RD TERRELL, TX 75160

ROCKWALL, TX 75087

ROCKWALL, TX 75087

PUBLIC NOTICE

CITY OF ROCKWALL PLANNING AND ZONING DEPARTMENT PHONE: (972) 771-7745 EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-016: Specific Use Permit (SUP) for an Accessory Building

Hold a public hearing to discuss and consider a request by Ryan Joyce for the approval of a <u>Specific Use Permit (SUP)</u> for an Accessory Building on a 2.71-acre parcel of land identified as Lot 6, Block B, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) [Ordinance No. 19-26] for Single-Family 1 (SF-1) District land uses, addressed as 2201 Sanderson Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>*Tuesday, April 15, 2025 at 6:00 PM</u></u>, and the City Council will hold a public hearing on <u><i>Monday, April 21, 2025 2025 at 6:00 PM*</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.</u>

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP

Director of Planning & Zoning





- - PLEASE RETURN THE BELOW FORM

Case No. Z2025-016: Specific Use Permit (SUP) for an Accessory Building

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

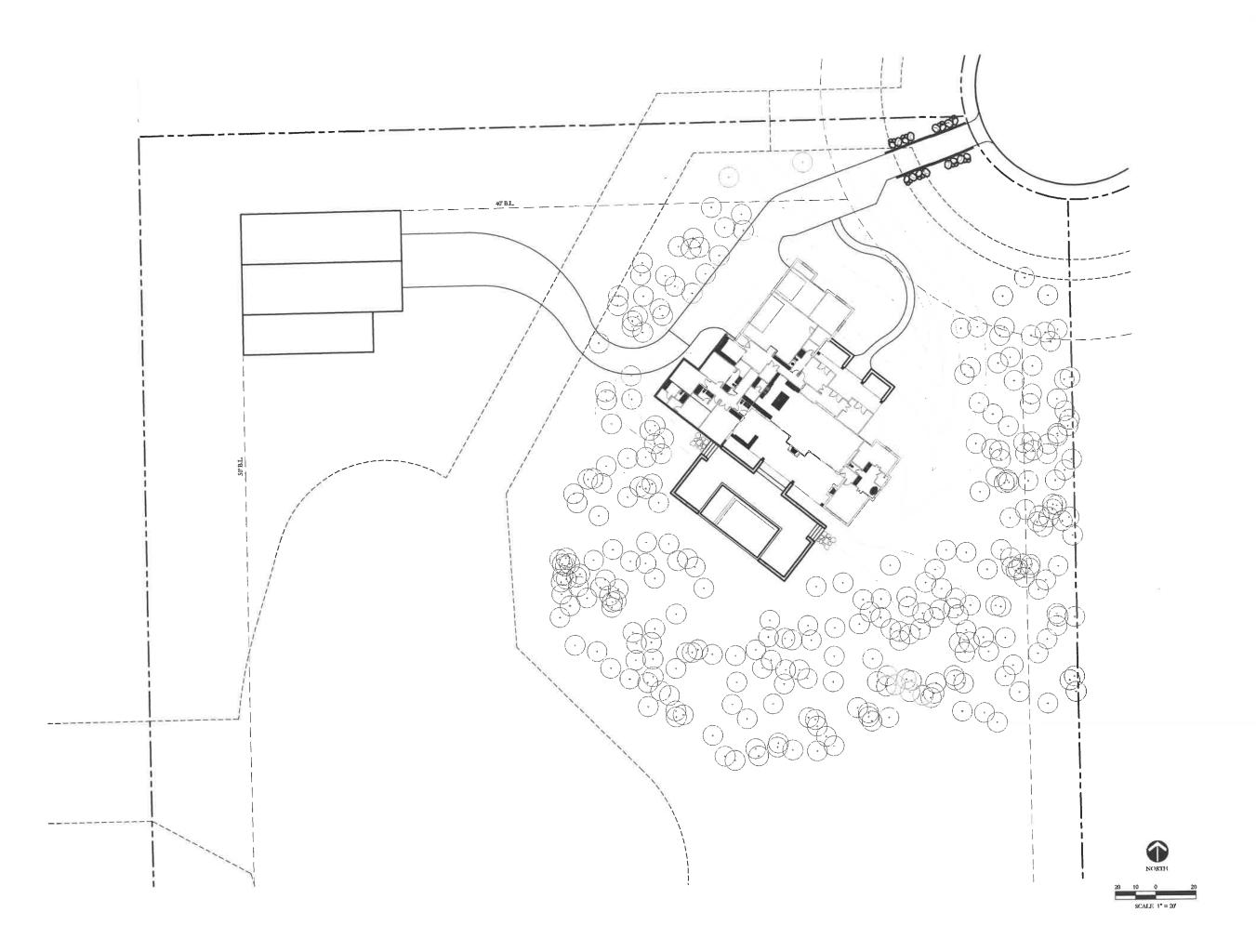
I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Sander sen 1000







Edit building dimensions			
Main Building			
Width 50'	i.ength 80'		Height 14'
Roof Type Gable	÷	Roof Pito 5:12	thi 👻
Leanto (Sidew	rall A)		
Width 20'	hada en ficine conservat i ene jurkana en se	Height 9'	
Roof Pitch 3:12			
NEXT			



CITY OF ROCKWALL

ORDINANCE NO. <u>25-XX</u>

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT **DISTRICT 88 (PD-88) AND THE UNIFIED DEVELOPMENT CODE** (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR AN ACCESSORY BUILDING ON A 5.222-ACRE PARCEL OF LAND **IDENTIFIED AS LOT 6, BLOCK B, NORTHGATE ADDITION,** CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS: PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY PROVIDING CLAUSE; CLAUSE: FOR A REPEALER **PROVIDING FOR AN EFFECTIVE DATE.**

WHEREAS, the City has received a request from Ryan Joyce for the approval of a <u>Specific Use</u> <u>Permit (SUP)</u> for an Accessory Building on a 5.222-acre parcel of land identified as Lot 6, Block B, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88), addressed as 2201 Sanderson Lane, and being more specifically depicted and described in *Exhibit* 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 88 (PD-88) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 88 (PD-88) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for an Accessory Building as stipulated by Subsection 01.02, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the Subject Property; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 88 (PD-88); and Subsection 03.01, *General Residential Standards*, and Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02], and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development of the Accessory Building shall generally conform to the <u>Site Plan</u> as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance; and,
- (2) The Accessory Building shall generally conform to the <u>Building Rendering</u> as depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance; and,
- (3) The Accessory Building shall not exceed a maximum size of 5,400 SF; and,
- (4) The Accessory Building shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance; and,
- (5) No additional Accessory Buildings may be constructed on the Subject Property.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures,* of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

(1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11, Development Applications and Revision Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

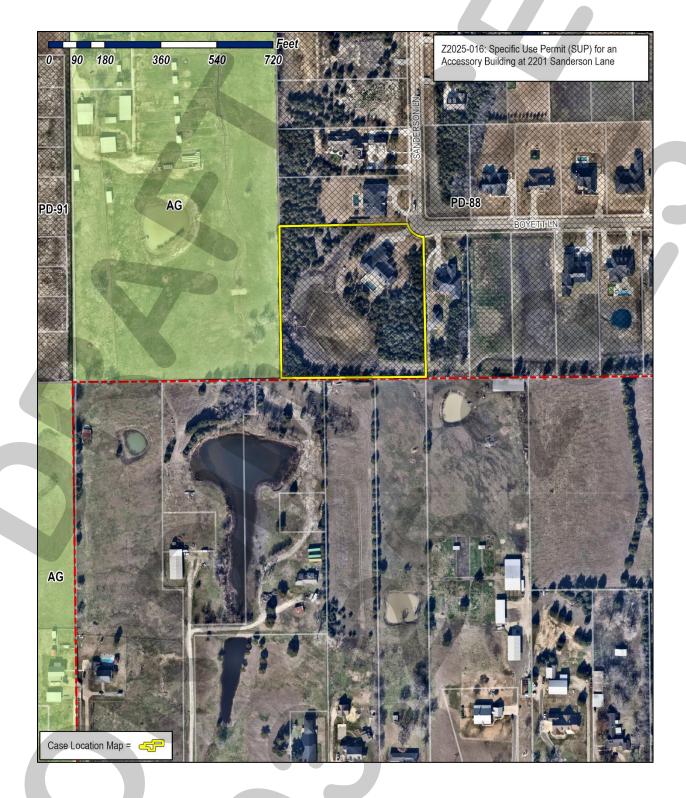
SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 5th DAY OF MAY, 2025.

ATTEST:	
Kristy Teague, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	
1 st Reading: <u>April 21, 2025</u>	
2 nd Reading: <u><i>May</i> 5, 2025</u>	
Z2025-016: SUP for 2201 Sanderson Lane P Ordinance No. 25-XX; SUP # S-3XX	age 3 City of Rockwall, Texas

Exhibit 'A' Legal Description

<u>Address:</u> 2201 Sanderson Lane <u>Legal Description:</u> Lot 6, Block B, Northgate Addition



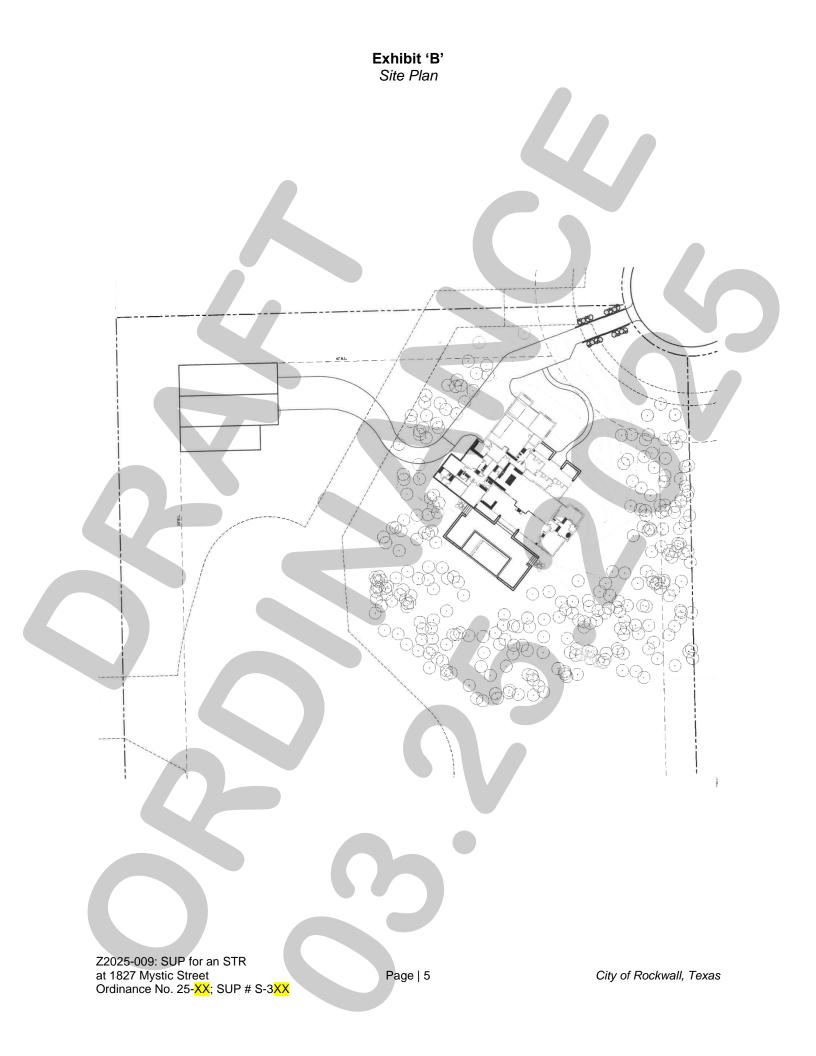
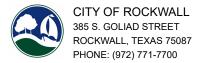


Exhibit 'C': Building Rendering



PROJECT COMMENTS



DATE: 3/21/2025

PROJECT NUMBER:	SP2025-011
PROJECT NAME:	Site Plan for 2301 SH 276
SITE ADDRESS/LOCATIONS:	2301 STATE HIGHWAY 276

CASE CAPTION: Discuss and consider a request by Drew Donosky of Claymoore Engineering for the approval of a Site Plan for the expansion of an existing Mini-Warehouse Facility on a 5.00-acre tract of land identified as Tract 2-6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) [Ordinance No. 25-12] for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2301 SH-276, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Henry Lee	03/21/2025	Needs Review	

03/21/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for the expansion of an existing Mini-Warehouse Facility on a 5.00-acre tract of land identified as Tract 2-6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) [Ordinance No. 25-12] for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2301 SH-276.

1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2025-011) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

1.4 The subject property will be required to be plat in order to establish easements and establish the property into Lot and Block.

M.5 A material sample board must be provided by the Architecture Review Board (ARB) meeting on March 25.

M.6 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of ______, ____.

WITNESS OUR HANDS, this _____ day of _____, ____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.7 Site Plan.

- (1) The font building setbacks are 15-feet. (Subsection 03.04.B, of Article 11, UDC)
- (2) All parking spaces shall be 20'x9'. (Engineering Standards of Design and Construction)

(3) The proposed expansion increases the required parking to 11 spaces. Eight (8) parking spaces for the 704 units and three (3) additional spaces. (Table 5, Article 06, UDC)

- (4) All signage is reviewed and approved through a separate permitting process. Signage may not be located within any easements. (Subsection 06.02.F, of Article 05, UDC)
- (5) All roof mounted equipment must be crosshatched on the building elevations. This equipment must be fully screened. (Subsection 01.05.C, of Article 05, UDC)

(6) All pad mounted equipment must be shown on the site plan. This equipment must be screened with five (5) gallon evergreen shrubs, which should be shown on the landscape plan. (Subsection 01.05.C, of Article 05, UDC)

(7) Please provide a note that there shall no above ground storage tanks or outside storage, which includes vehicles. (Subsection 01.05. B, of Article 05, UDC)

(8) To clarify, are the storage units contained within the building and there shall be no roll up doors? (Subsection 01.05. A, of Article 05, UDC)

(9) Please clarify if there will be a dumpster. All dumpster enclosures must be 12-feet by 10-feet, and within the overlay district they must be 8-feet in height. If there will be an enclosure, please correct the site plan and provide a dumpster detail to reflect this. In addition, please denote that the brick on the enclosure will match the primary building. (Subsection 01.05.B, of Article 05, UDC)

(10) No gutters, downspouts, or scuppers shall face a roadway. (Subsection 02.03, of Article 04, UDC)

(11) Per the Conditional Land Use Standards, the "number of storage units per acre shall not exceed 125, the minimum number of storage units shall be ten (10), and the maximum site area shall be five (5) acres." In this case, you are proposing 704 units. This request will be an Exception that the Planning and Zoning Commission must consider.

M.8 Landscape Plan.

(1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)

(2) Please delineate and label the landscape buffers along SH-276 and Springer Road. The SH-276 landscape buffer is 15-feet, and the Springer Road landscape buffer is 10-feet. (Subsection 05.01, of Article 08, UDC)

(3) Please delineate the required berms within the landscape buffers along SH-276 and Springer Road. The berm along SH-276 is required to be a minimum of 30-inches in height. (Subsection 06.02, of Article 05, UDC)

- (4) Identify visibility triangles for all driveway intersections with public streets. (Subsection 01.08, of Article 05, UDC)
- (5) The landscape buffer along SH-276 requires four (4) canopy trees and eight (8) accent trees. (Subsection 06.02, of Article 05, UDC)

(6) Detention ponds are required to have one (1) canopy tree per 750 SF of detention area, and one (1) accent tree per 1,500 SF of detention area. In this case, you are requesting approval of smartscape plan for the detention system. The Planning and Zoning Commission will review this as part of your site plan request. (Subsection 05.03.D, of Article 08, UDC)

(7) Please include a note that the irrigation will meet the requirements of the UDC. (Subsection 05.04, of Article 08, UDC)

M.9 Photometric Plan

(1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)

M.10 Building Elevations

(1) Cementitious materials may not exceed more than 50% on a façade. In this case, the south façade utilized greater than 50% cementitious fiber board. This will be a Variance. (Subsection 06.02.C, of Article 05, UDC)

(2) Natural or quarried stone must be utilized on at least 20% on each façade. In this case, the south façade incorporates less than 20% stone. This will be a Variance. (Subsection 06.02.C, of Article 05, UDC)

(3) EIFS is not a permitted building material. Please utilized three (3) part stucco. (Subsection 06.02.C, of Article 05, UDC)

(4) Please provide a note that the back side of the parapet must be finished in the same material as the external facing façade. In addition, all parapet systems must be enclosed. In this case, it appears that there is no parapet on the back of the building. (Subsection 06.02, of Article 05, UDC)

(5) Please crosshatch the RTUs on the elevations. The RTUs must be fully screened by the parapet. Please pay attention to this due the building being lower than the road. (Subsection 01.05.C, of Article 05, UDC)

(6) The proposed building does not meet the four (4) sided architecture requirements. This requires the same "materials, detailing, articulation and features" on each façade. In this case the primary articulation requirements must be met on each side, and the same architectural detail and features must be provided on each side. (Subsection 06.02, of Article 05, UDC)

(7) The proposed building does not meet the primary articulation standards on each side of the building. Please review the articulation diagram within the General Commercial

District Standards within the Unified Development Code (UDC). (Subsection 06.02, of Article 05, UDC)

M.11 At this time, based on the materials submitted, staff has identified the following Exception(s)/Variance(s) for this project:

(1) Mini-Warehouse Unit Count. A maximum of 625 units may be permitted for a Mini-Warehouse Facility. (Subsection 01.05.C, of Article 05, UDC)

(2) Cementitious Materials. Cementitious materials may not exceed 50% on a building façade. (Subsection 06.02, of Article 05, UDC)

(3) Stone. Stone must be utilized on 20% of each building façade. (Subsection 06.02, of Article 05, UDC)

(4) Articulation. The proposed building does not meet the primary articulation requirements outlined within the General Commercial District Standards. (Subsection 04.01, of Article 05, UDC)

(5) Four (4) Sided Architecture. The proposed building does not provide the same "materials, detailing, articulation and features" on each façade. (Subsection 04.01, of Article 05, UDC)

M.12 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on April 1, 2025 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Please note the scheduled meetings for this case:

(1) Planning & Zoning meeting/work session meeting will be held on March 25, 2025.

(2) Planning & Zoning meeting/public hearing meeting will be held on April 15, 2025.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments

03/20/2025: 1. Move sidewalk away from back of curb (2' from ROW)

2. 20'x9'

3. Private

4. Need to get with the City of Rockwall's Internal Operations and Assistant City Manager regarding this

5. FH or easement can't be in detention/drainage easement. FH requires min 20' water easement. Detention pond easement will be set at freeboard elevation.

6. Water line to be centered in 20' water easement ... so you may want to center the water line otherwise you'll need additional easements

7. Must have 5' clearance around all fire hydrants...no fences, shrubs, tree, parking spaces, structures, bollards etc. All fire hydrants to be in a 20' wide water easement.

8. Where is your proposed parking for this building?

9. Dedicate a 10 utility easement along SH 276.

10. All parking to be 20'x9'

11. All parallel parking to be 22'x9'

12. Verify that this ROW line is the new/proposed TXDOT for the SH 276 widening project

13. 5' clear around fire hydrant

14. No trees within 10' of water line along SH 276 and 5' from the 8" water line loop in the fire lane

General Comments:

General Items:

- Must meet City's 2023 Standards of Design and Construction

- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW. No structures or fences within easements.
- Tree mitigation will be required for the removal of any existing trees on site.
- All utilities must be underground.
- Platting of property is required.
- Additional comments may be provided at time of Engineering.

Drainage Items:

- Detention is required if increasing impervious area. Detention is based on zoning, not specific land area use.
- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
- Detention easement required at freeboard elevation. No vertical walls are allowed in detention easement.
- Detention pond is required to have an emergency spillway.
- Existing flow patterns must be maintained.
- No water or sewer lines can be in detention easement.
- Detention ponds must be irrigated.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
- All dumpster areas shall drain to an oil/water spectator and then into the storm system.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be centered in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- There is an existing 16" water main on the other side of Springer Road available for use.
- Minimum public sewer is 8".
- All commercial sewer connections must be made by a proposed or existing manhole.
- There is an existing 8" sewer main along Springer Road available for use.
- Water and sanitary sewer and storm sewer must be 10' apart.
- All public utilities must be centered in an easement. Min 20' utility easements.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- Sewer pro-rata of \$979.14/acre to be paid
- Sewer line pro-rata \$21/If along Springer
- Must extend water and sewer to southern property line to serve the .92 acre tract

Roadway Paving Items:

- All driveways must meet City spacing requirements.
- All parking, storage, drive aisles must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No gravel or asphalt allowed in any area.
- All Parking to be 20'x9' minimum.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane (if needed) to be in a platted easement.

- Street pro-rata \$11.74 If along Springer

- 5' sidewalk to be installed across the property along Springer

Landscaping:

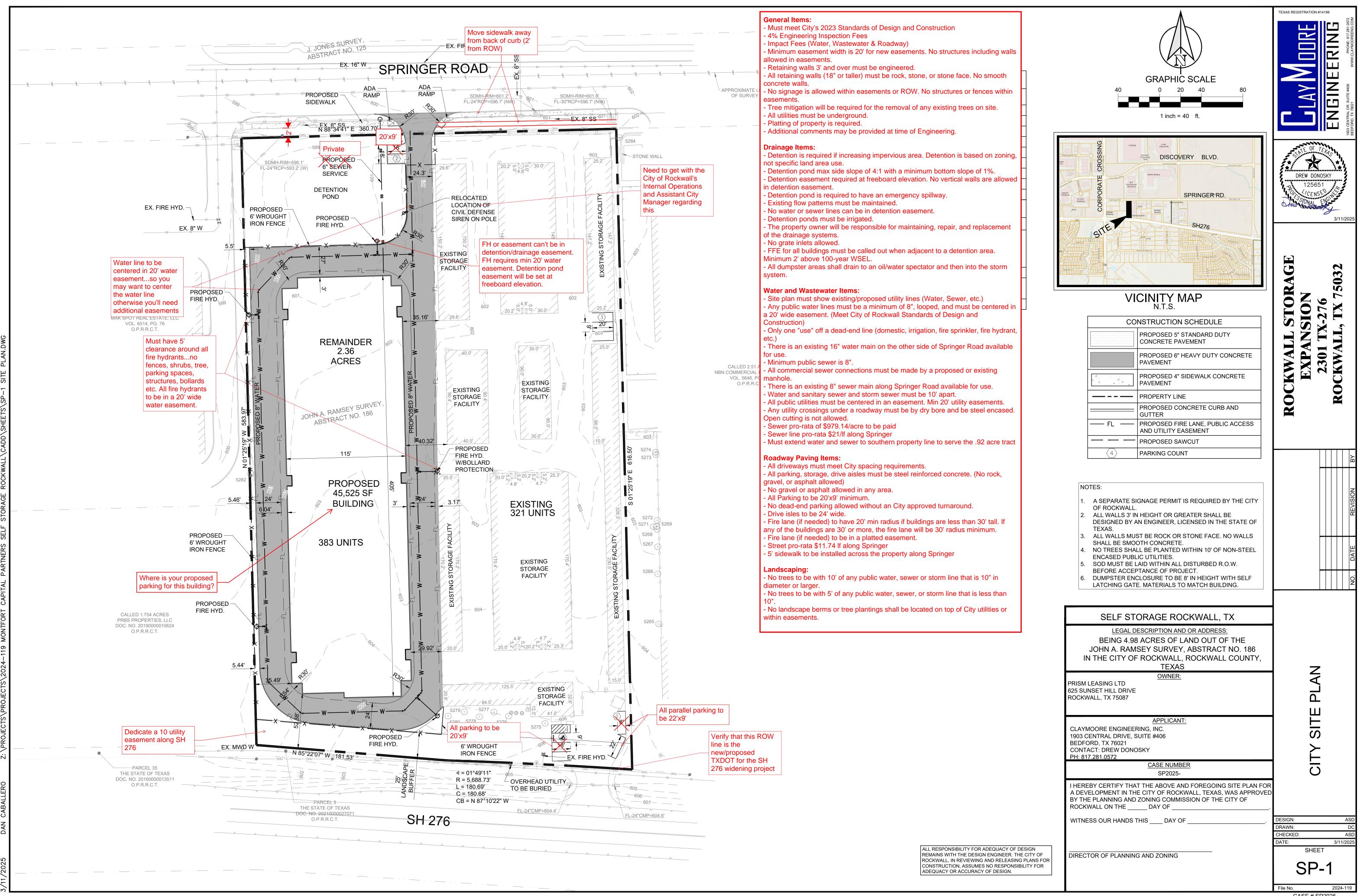
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

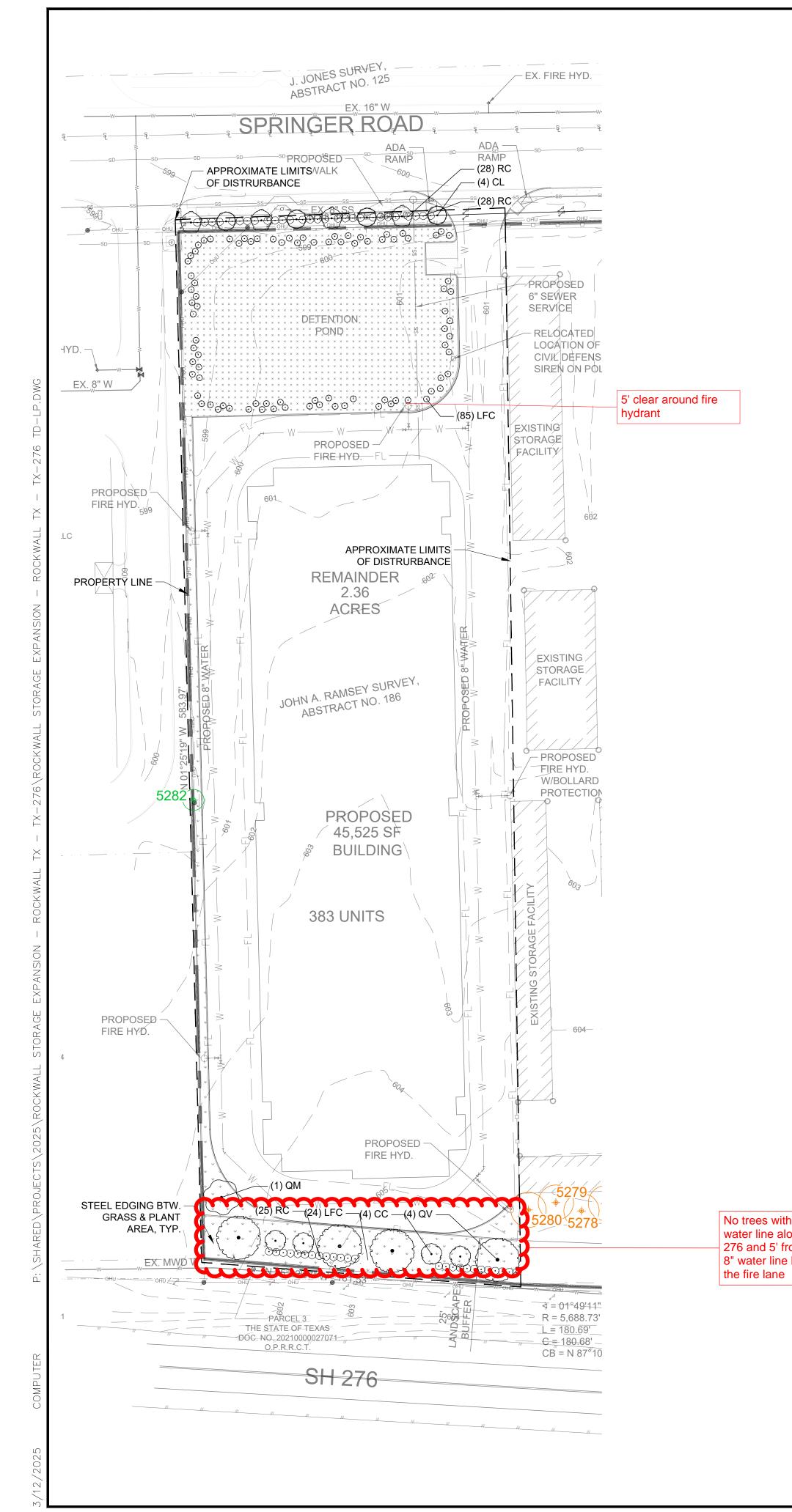
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	03/20/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	03/19/2025	Approved w/ Comments	
03/19/2025: Note: Fire Hydrant	coverage is extended to 600 feet when the bu	ilding is equipped with fire sprinklers.		
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	03/17/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	03/17/2025	Approved	
No Comments				
	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
DEPARTMENT	REVIEWER			

Landscape plan approved



CASE # SP2025-



05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL	
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
SH 276 - ±181' OF STREET FRONTAGE: SPRINGER ROAD - ±186' OF STREET FRONTAGE:	4 CANOPY TREES, 4 ACCENT TREES, & SHRUBS PROVIDE 8 ACCENT TREES*, & SHRUBS PROVIDED
* ACCENT TREES USED DUE TO OVERHEAD POWE	R LINES.
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL	
NEW CONSTRUCTION SITE AREA:	108,527 SF
LANDSCAPE AREA REQUIRED SITE: LANDSCAPE PROVIDED:	21,705.4 SF (20%) 29,310 SF (27%)
LANDSCAPE PROVIDED.	29,310 SF (2170)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS WIDE AND A MIN. OF 25 SF IN AREA	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5'
DETENTION BASIN SITE AREA: DETENTION BASINS PLANTING REQUIRED: DETENTION BASING PLANTING PROVIDED: XERISCAPE OPTION	16,013 SF NATIVE GRASS & 4 SHRUBS PER 750 SF 16,013 / 750 = 21.35; 21.35 x 4 = 85 SHRUBS & NATIVE GRAS
ARTICLE 09: TREE PRESERVATION 05: TREE MITIGATION REQUIREMENTS MITIGATION REQUIRED: MITIGATION PROVIDED:	YES 1 - 4" CALIPER TREE

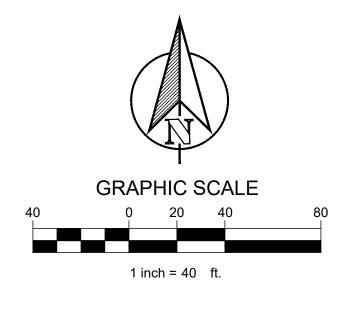
06.01: REPLACEMENT TREES

ALL REPLACEMENT TREES SHALL BE A MIN. 4" CALIPER 1 REQUIRED

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE		QTY		
LARGE TR	EES						
•	QM	Quercus muehlenbergii / Chinkapin Oak	4" Cal.	Cont. or B&B	1		
for the second s	QV	Quercus virginiana / Southern Live Oak	4" Cal.	Cont. or B&B	4		
SMALL TREES							
A M K	CC	Cercis canadensis texensis / Texas Redbud	4` Ht.	Cont. or B&B	4		
$\mathbf{\mathbf{\dot{\cdot}}}$	CL	Chilopsis linearis / Desert Willow	4` Ht.	Cont. or B&B	4		
	RC2	Rhus copallinum 'Flameleaf' / Flameleaf Sumac	4` Ht.	Cont. or B&B	4		
SHRUBS							
6	LFC	Leucophyllum frutescens `Compacta` / Compact Texas Sage	5 gal.	Cont.	85		
•	RC	Rhaphiolepis indica `Pinkie` / Indian Hawthorn	5 gal	Cont.	53		
SYMBOL	CODE	BOTANICAL / COMMON NAME			QTY		
SOD/SEED	<u>)</u>						
<pre></pre>	SM	Blackland Prairie Seed Mix / Native American Seed (Seedsource.com)			16,013 sf		
	TRF	Cynodon dactylon x transvaalensis `DT-1` / TifTuf™ Bermudagrass solid sod, staggered joints, thick and green, no gaps between sod pieces			6,992 sf		

No trees within 10' of water line along SH 276 and 5' from the 8" water line loop in



EXAS REGISTRATION #14199 RING GENERAL GRADING AND PLANTING NOTES 1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN) IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INE INDICATED ON THE GRADING PLANS. a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. AY SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND b. CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM Z STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO d. WALKS AND OTHER WALKING SURFACES. AFTER INSTALLING SOIL AMENDMENTS. IS 3" BELOW THE ADJACENT FINISH SURFACE. IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS. AT APPROXIMATELY 18" AWAY FROM THE WALKS. 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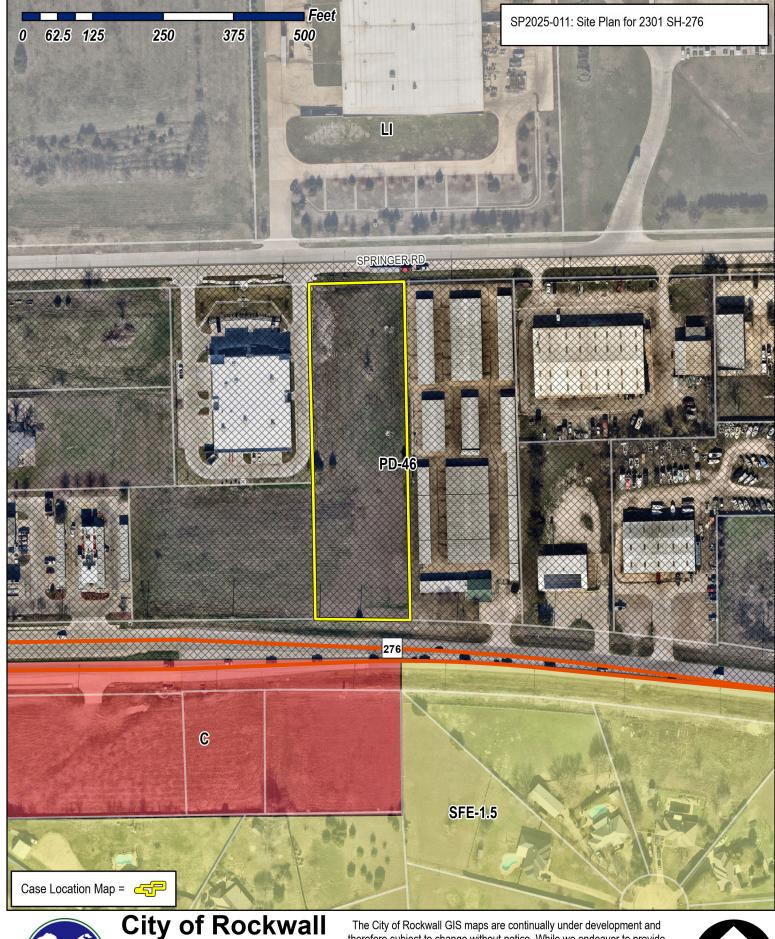
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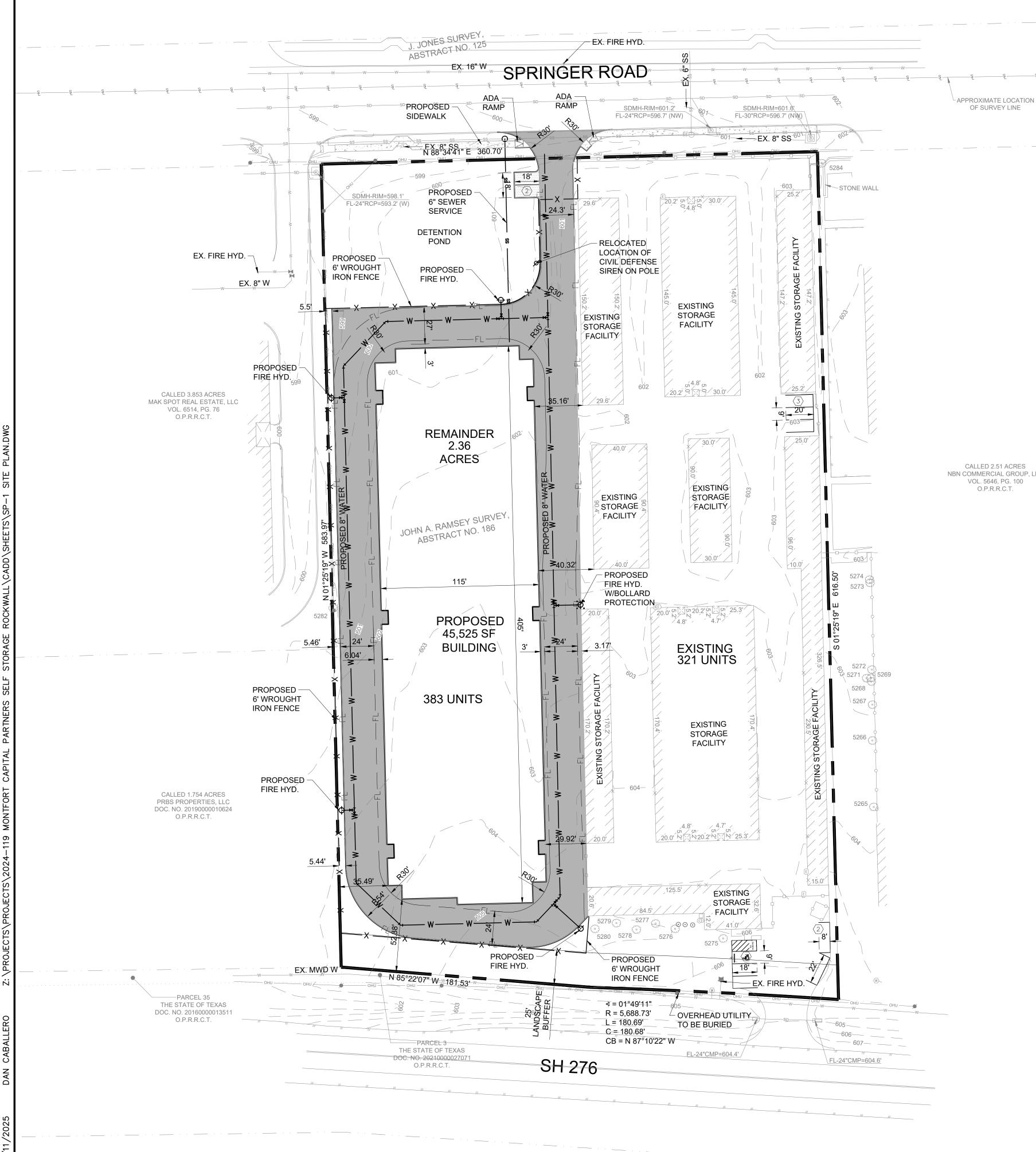
PLEASE CHECK THE AF PLATTING APPLICA PRELIMINARY PL FINAL PLAT (\$ 300 REPLAT (\$ 300.00 AMENDING OR M PLAT REINSTATE SITE PLAN APPLICA SITE PLAN (\$ 250. AMENDED SITE P	STAFF USE ONLY PLANNING & ZONING CASE NO. NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER: DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]: ZONING APPLICATION FEES: ZONING CHANGE (\$200.00 + \$15.00 ACRE)1 SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)1 PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)1 OTHER APPLICATION FEES: TREE REMOVAL (\$75.00) VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)? MOTES: 'N DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE ANDUNT. FOR REQUEST SOL LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. * A 1100000 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.							
PROPERTY INFOR	RMATION (PLEASE PRINT)							
ADDRESS	2301 TX-276 Rod	kwall, TX 7503	2					
SUBDIVISION	A0186				LOT		BLOCK	
GENERAL LOCATION	10100							
	AN AND PLATTING INFO PD-46	JEMATION [PLEASE	CURRENT	ISE	01			
CURRENT ZONING					Storage I			
PROPOSED ZONING	PD-46		PROPOSED	USE	Storage			
ACREAGE	4.98	LOTS (CURRENT)	1		LOTS (PP	OPOSED]	1	
REGARD TO ITS AI RESULT IN THE DE	<u>PLATS</u> : BY CHECKING THIS BOX PPROVAL PROCESS, AND FAILURE NIAL OF YOUR CASE.	TO ADDRESS ANY OF ST	TAFF'S COMMENT	S BY THE	DATE PROVIDED	UN THE DEVE	LUPMENT GALENDAA W	TH ILL
	NT/AGENT INFORMATIO	ON (PLEASE PRINT/CHE)						
C OWNER	Prism Leasing LTD				Claymoore		ering	
CONTACT PERSON		L	CONTACT PERS		Drew Dong		406	
ADDRESS	625 Sunset Hill Dr		ADDRE		1903 Cent		400	
CITY, STATE & ZIP	Rockwall, TX 75087		CITY, STATE &	ZIP	Bedford, T	X 76021		
PHONE			PHO	NE	817-281-0			
E-MAIL			E-M.	AIL	drew@clay	ymooree	ng.com	
STATED THE INFORMATIO	SIGNED AUTHORITY, ON THIS DAY ON ON THIS APPLICATION TO BE TF AM THE OWNER FOR THE PURPOSE	UE AND CERTIFIED THE F OF THIS APPLICATION; ALL OF THIS APPLICATION, I AGREE HIS APPLICATION, I AGREE F PURIC THE CITY IS J	FOLLOWING: L INFORMATION SL BEEN PAID TO TH E THAT THE CITY (ALSO, AUTHORIZE)	IBMITTED H E CITY OF I OF ROCKW D AND PEI	Rockwall on Thir All (I.E. "City") IS RMITTED TO REPF	D CORRECT; A S THE AUTHORIZED A	AND PERMITTED TO PROV	OF OF IDE
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GIVEN UNDER MY HAND	AND SEAL OF OFFICE ON THIS THE OWNER'S SIGNATURE	aland Colon	<u>u ch</u>	20 <u>35</u>	Kon	hell	Nontur	r 1 1
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	VELOPMENT APPLICATION • CITY		ITH GOLLAD STOL	FT . ROC	(WALL TX 75097	• [P] (972) 77		
DE	VELOPMENT APPLICATION • CITY	07 XULKWALL * 363 SUL	Sin Goliau Sikt			NUMBER PULL	RACHEL MC Notary Public, St. Comm. Expires I Notary ID 134	ate of Texas 04-13-2027



City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

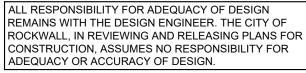
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

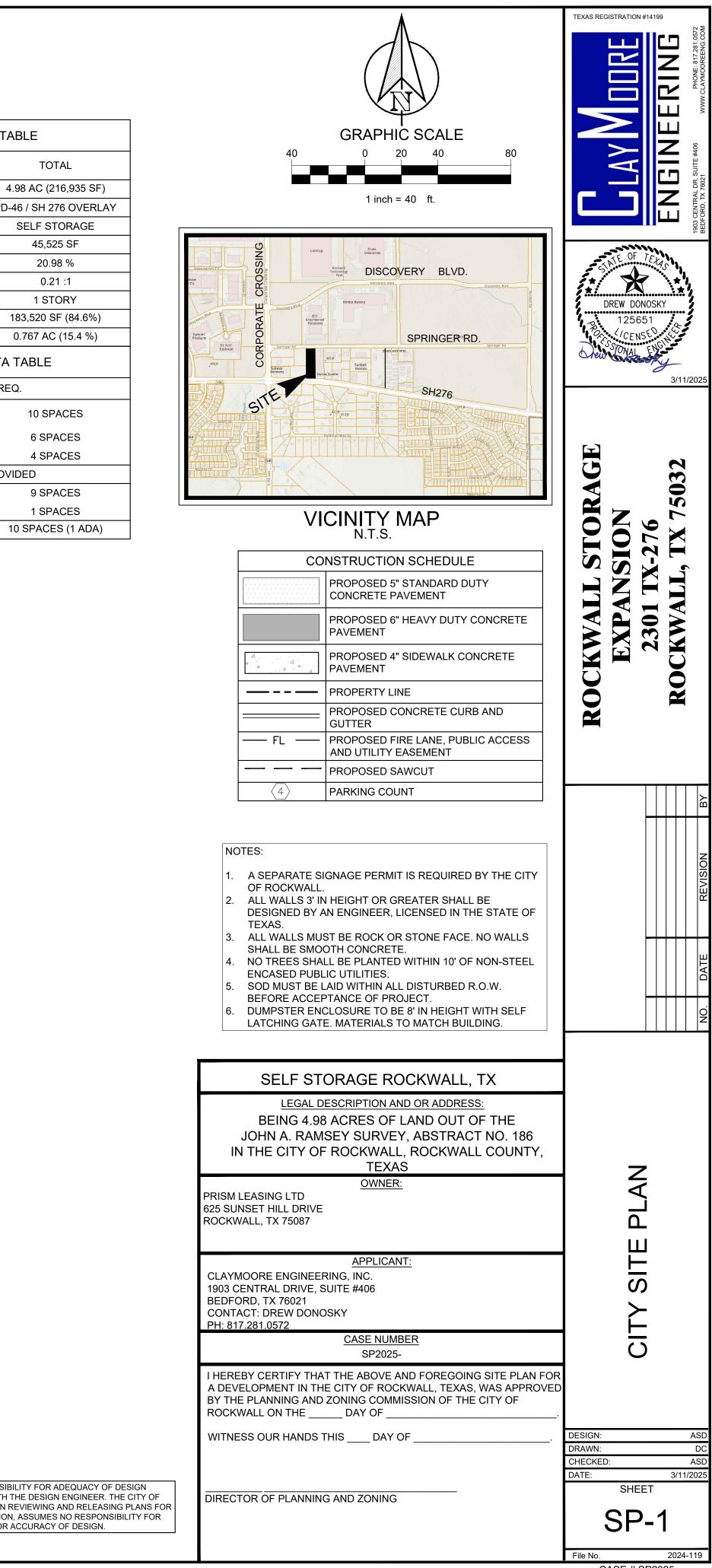


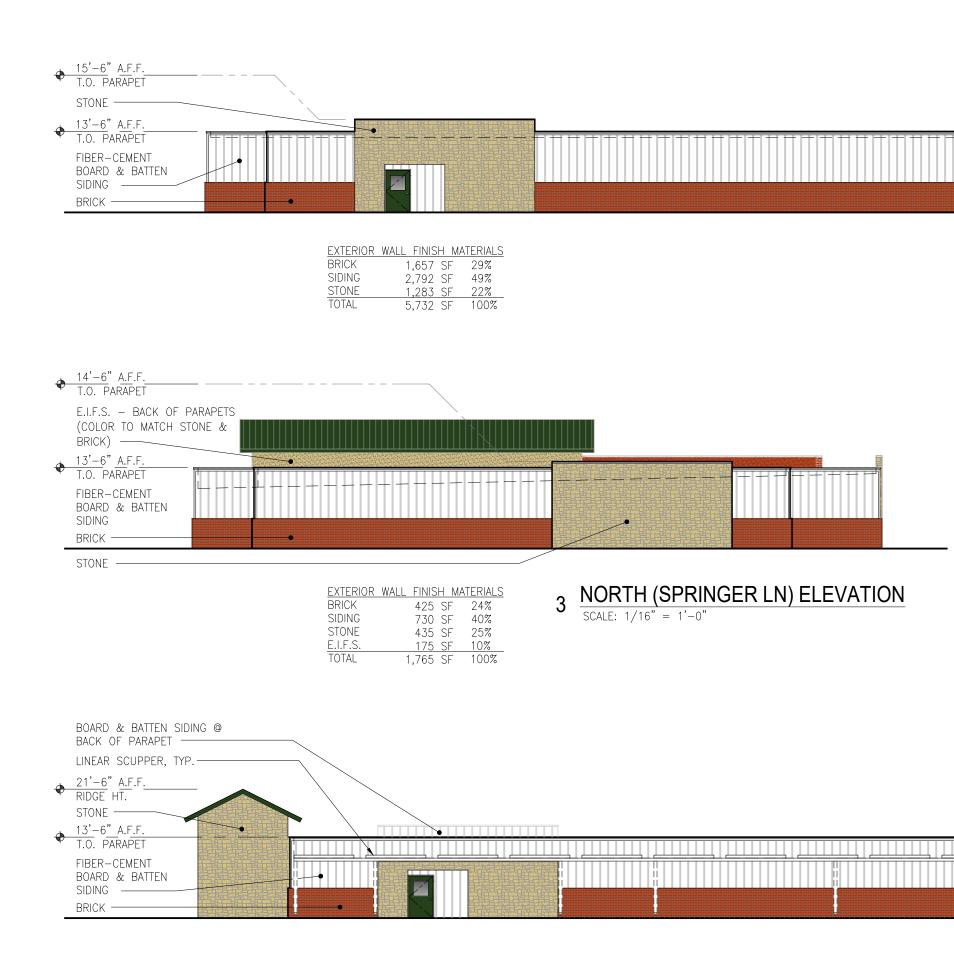


SITE DA	TA TABLE
	TOTAL
SITE AREA	4.98 AC (216,935 \$
ZONING	PD-46 / SH 276 OVE
PROPOSED USE	SELF STORAGE
BUILDING SIZE	45,525 SF
LOT COVERAGE	20.98 %
FLOOR TO AREA RATIO	0.21 :1
BUILDING STORIES	1 STORY
TOTAL IMPERVIOUS	183,520 SF (84.69
OPEN SPACE	0.767 AC (15.4 %
PARKING [DATA TABLE
PARKI	NG REQ.
MINI-WAREHOUSE 3 SPS. + 1 PER 100 UNITS	10 SPACES
EXISTING 321 UNITS	6 SPACES
PROPOSED 383 UNITS	4 SPACES
PARKING	PROVIDED
STANDARD PARKING	9 SPACES
ADA PARKING	1 SPACES
TOTAL	10 SPACES (1 AD

NBN COMMERCIAL GROUP, LLC VOL. 5646, PG. 100







EXTERIOR	WALL FINIS	Н М/	ATERIALS
BRICK	1,500	SF	26%
SIDING	3,334	SF	58%
STONE	898	SF	16%
TOTAL	5,732	SF	100%



BRICK - TO MATCH EXISTING

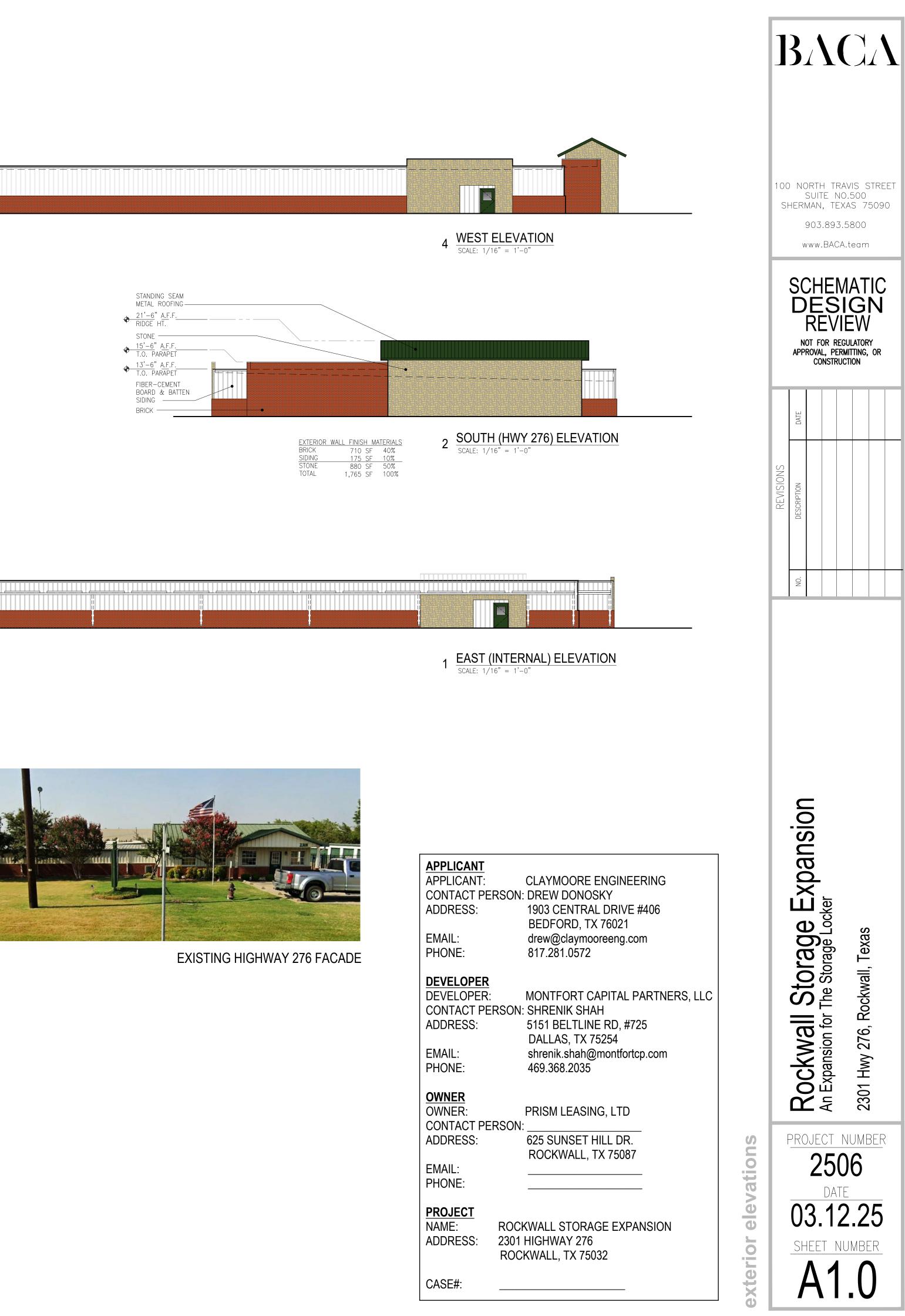


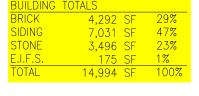
STONE - CHOPPED SANDSTONE



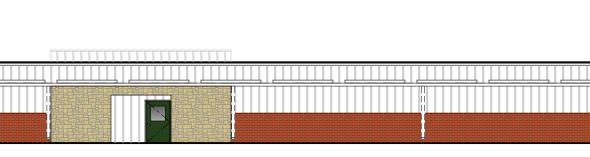


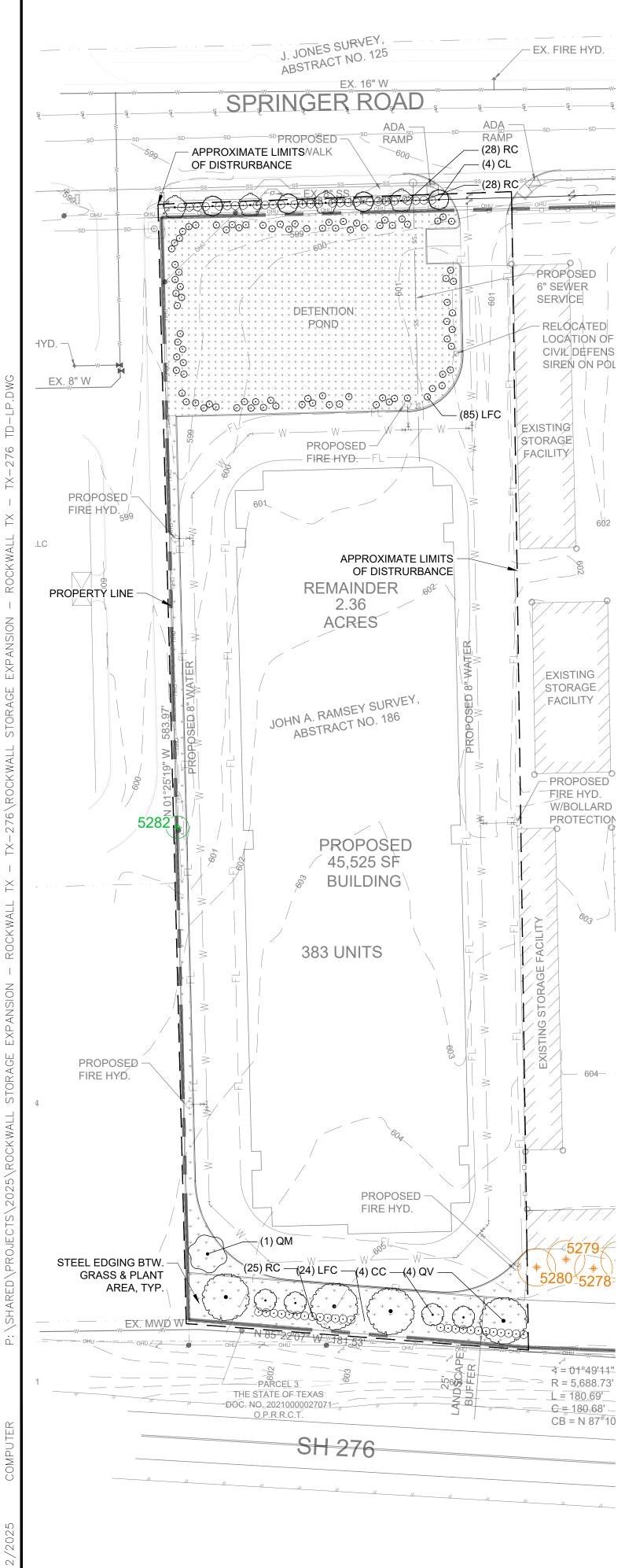
PAINT - ICE CUBE; SW6252 or equal













05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL	
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
SH 276 - ±181' OF STREET FRONTAGE: SPRINGER ROAD - ±186' OF STREET FRONTAGE:	4 CANOPY TREES, 4 ACCENT TREES, & SHRUBS PROVIDE 8 ACCENT TREES*, & SHRUBS PROVIDED
* ACCENT TREES USED DUE TO OVERHEAD POWE	R LINES.
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL	
NEW CONSTRUCTION SITE AREA:	108,527 SF
LANDSCAPE AREA REQUIRED SITE: LANDSCAPE PROVIDED:	21,705.4 SF (20%) 29,310 SF (27%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS WIDE AND A MIN. OF 25 SF IN AREA	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5'
DETENTION BASIN SITE AREA: DETENTION BASINS PLANTING REQUIRED: DETENTION BASING PLANTING PROVIDED: XERISCAPE OPTION	16,013 SF NATIVE GRASS & 4 SHRUBS PER 750 SF 16,013 / 750 = 21.35; 21.35 x 4 = 85 SHRUBS & NATIVE GRAS
ARTICLE 09: TREE PRESERVATION 05: TREE MITIGATION REQUIREMENTS MITIGATION REQUIRED: MITIGATION PROVIDED:	YES 1 - 4" CALIPER TREE

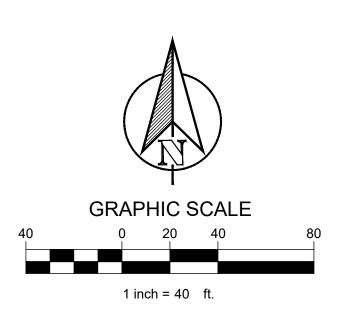
1 REQUIRED

06.01: REPLACEMENT TREES

ALL REPLACEMENT TREES SHALL BE A MIN. 4" CALIPER

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE		QTY			
LARGE TREES								
•	QM	Quercus muehlenbergii / Chinkapin Oak	4" Cal.	Cont. or B&B	1			
	QV	Quercus virginiana / Southern Live Oak	4" Cal.	Cont. or B&B	4			
SMALL TR	EES							
a cu	CC	Cercis canadensis texensis / Texas Redbud	4` Ht.	Cont. or B&B	4			
$\mathbf{\mathbf{\dot{o}}}$	CL	Chilopsis linearis / Desert Willow	4` Ht.	Cont. or B&B	4			
•	RC2	Rhus copallinum 'Flameleaf' / Flameleaf Sumac	4` Ht.	Cont. or B&B	4			
SHRUBS								
	LFC	Leucophyllum frutescens `Compacta` / Compact Texas Sage	5 gal.	Cont.	85			
•	RC	Rhaphiolepis indica `Pinkie` / Indian Hawthorn	5 gal	Cont.	53			
SYMBOL	CODE	BOTANICAL / COMMON NAME			QTY			
SOD/SEED)							
<pre>x x x x x x x x x x x x x x x x x x x</pre>	SM	Blackland Prairie Seed Mix / Native American Seed (Seedsource.com)			16,013 sf			
	TRF	Cynodon dactylon x transvaalensis `DT-1` / TifTuf™ Bermudagrass solid sod, staggered joints, thick and green, no gaps between sod pieces			6,992 sf			



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	 ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS 		2. SUBMITT, REQUIRE COMPOS APPROPF	,
	DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.		EDGING,	ALS SHALL ALSO INC AND LANDSCAPE FAI 1ULTIPLE ITEMS ARE
В.	SCOPE OF WORK 1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND	C.	GENERAL PLAN 1. REMOVE	
	COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS. 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY		RECOMM 3. TRENCHI	ENDED RATE. NG NEAR EXISTING T
	 AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS. 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK. 		EXI ANI EQI	NTRACTOR SHALL NO STING TREES, AND S D BRANCHES. THE C JAL TO 1' FOR EVERY . EXCAVATION WITHIN
PRO	DUCTS		c. ALT	Y KIND SHALL BE ALL ER ALIGNMENT OF P DIAMETER ARE ENCO
А. В.	ALL MANUFACTURED PRODUCTS SHALL BE NEW. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:		LAY d. ALL	ERS OF BURLAP AND SEVERED ROOTS SI
	 FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A 	D.	TREE PLANTING 1. TREE PLA	ANTING HOLES SHALI
	 FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS. 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING 		2. SCARIFY	D THE DEPTH OF THE THE SIDES AND BOT E BEEN CAUSED DUF
	 AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS). TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE. 		3. FOR CON SHALL SH	TAINER AND BOX TRI IAVE A 1" LAYER OFF OPIT. DO NOT "TEAS
	4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN		4. INSTALL ⁻ SURROUI	THE TREE ON UNDIST NDING GRADE.
	EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL. 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE		SHALL BE	THE TREE HOLE UTI REMOVED FROM TH RED TOPSOIL FROM (
	ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING. 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT		IMPORTE 6. TREES SI	D TOPSOIL SHALL BE HALL NOT BE STAKED
	 FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER. 7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. 		LEFT TO	. SHOULD STAKING E THE LANDSCAPE COM TEN THE TREE, OR R
	 WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS. 8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS 		GUIDELIN a. 1"-2	IES:
C.	BEEN COMPLETELY COVERED, SHALL BE REJECTED. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF		c. TRE d. MU	EES OVER 4" CALIPEF _TI-TRUNK TREES
D.	WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER, PLANTS, ROOTS, AND		e. MUI TRE	TI-TRUNK TREES
E.	SEEDS. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55	-	7. UPON CO TREE RIN	MPLETION OF PLANT
	PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.	E.	1. DIG THE I BACKFILL	NIAL, AND GROUNDO PLANTING HOLES TW . AROUND THE PLAN
F.	FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).		2. INSTALL ⁻ IN PLACE	THE WEED BARRIER
G.	MULCH: SIZÉ AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.	F.	PLANTING SODDING	G AREA.
H.	 TREE STAKING AND GUYING STAKES: 6' LONG GREEN METAL T-POSTS. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER. 		2. LAY SOD	IETY TO BE AS SPEC WITHIN 24 HOURS FF SOD TO FORM A SOL
	3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.		STAGGEF 4. ROLL THE	R STRIPS TO OFFSET
I. J.	STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC	G.	PENETRA MULCH	HE SOD THOROUGHL TION INTO THE SOIL
	ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.		2. DO NOT I	MULCH TOPDRESSIN
MET	IODS	Н.	OF THE V CLEAN UP	E PLANS. MULCH CC /ALKS AND CURBS. N
A.	SOIL PREPARATION 1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE		CONDITIO 2. DISPOSE	D LEGALLY OF ALL E
	WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. 2. SOIL TESTING:	I.	INSPECTION AN 1. UPON CO	ID ACCEPTANCE MPLETION OF THE W ABLE FOR USE AS IN
	a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB		DETERMI 2. WHEN TH	NE FINAL ACCEPTAB
	SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.		3. THE LAND	EPLACE AND/OR REP DSCAPE MAINTENANG
	b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.	J.	OWNER, A	AND THE MAINTENAN
	c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.		DAYS BE' SITE VISI	YOND FINAL ACCEPT, TS FOR THE FOLLOW
	d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND		MULCH, F	/E SETTLED, MOWING REMOVAL OF LITTER, RIATE WATERING OF
	RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.		PROPER 2. SHOULD	WORKING ORDER, W SEEDED AND/OR SOL
	3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.		ADDITION	CTOR SHALL BE RESE IAL COST TO THE OW EVE FINAL ACCEPTAN
	 FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING: TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING: 		a. THE PLA	E LANDSCAPE SHALL INTS NOT MEETING T CEPTANCE.
	 NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F. 		b. ALL c. SOI	HARDSCAPE SHALL
	 "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING: 	K.	ACO	WING. BARE AREAS CEPTANCE. ALL SOD RIOD, PLANT GUARA
	 NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD. 		1. THE LAND PERIOD C	DSCAPE CONTRACTO
	 iv. IRON SULPHATE - 2 LBS. PER CU. YD. 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE 		REPAIR A 2. AFTER TH	EPLACE, AT HIS OWN NY PORTIONS OF TH HE INITIAL MAINTENA
	SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS. a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON	L.	OTHER D	BIBLE FOR REPLACEN AMAGE BY HUMAN AG IMUM OF (2) COPIES
	TURF AREA AND PLANTING BED PREPARATION. b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES	- .	RECORD OF AL	L CHANGES THAT OC CONSULTANT DRAWI
	AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING			
	POTENTIAL. c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON			
	A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED. d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING			
	SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.			
	e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE			
	SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS. f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT,			
	THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER. 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS.			
	6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.			

BMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE MITTALS BEFORE WORK COMMENCES OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING) TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE NUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED. KES FROM PLANTS. H ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S

RB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF RCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, FINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS RUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK). RZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ITHIN THE CRZ. VOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER D IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL OIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS. HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF

AVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH ALL LESS TWO TO FOUR INCHES. THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT EXCAVATION OF THE HOLE. REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE S OUT FROM THE ROOTBALL. SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE

HE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS RIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. AR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES RED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE R'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING

O STAKES PER TREE REE STAKES PER TREE

Y AS NEEDED IREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE REE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE NSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE

CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS). ANTING VIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE.

SOIL AMENDED PER SOIL TEST RECOMMENDATIONS. OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH LL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE

THE LANDSCAPE PLAN. TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.

WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. N ADJACENT COURSES. TACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH. A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF THE SOD.

ND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS. TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED HIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE VER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

ND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY

D MATERIALS OFF THE PROJECT SITE.

E LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO

RK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS. IOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE LE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE GUARANTEE PERIODS WILL COMMENCE.

BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY IONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS ERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE ITINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN EDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION. EAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM. THE LANDSCAPE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO

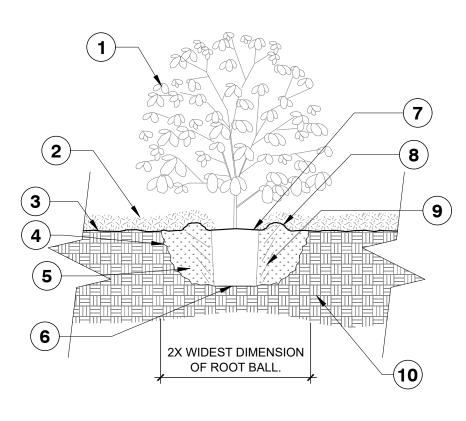
HE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR: CTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL DITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL

NED PRIOR TO FINAL ACCEPTANCE. ELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL RF SHALL BE NEATLY MOWED.

D REPLACEMENTS GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR EAND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR TION SYSTEM WHICH OPERATE IMPROPERLY. RIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE

PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR RD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A

) IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR KUPS.

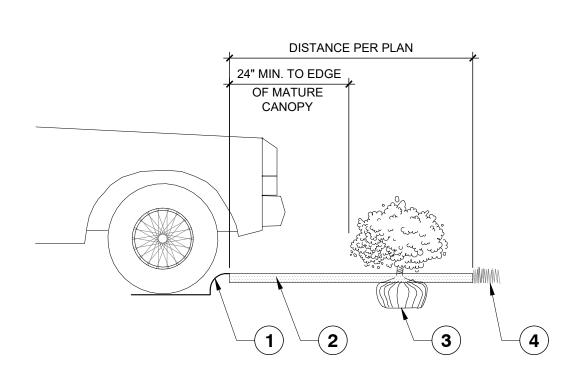


SECTION VIEW

SHRUBS SHALL BE OF QUALITY PRESCRIBED IN THE ROOT

OBSERVATIONS DETAIL AND SPECIFICATIONS. 2. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

SHRUB PLANTING A NTS



(1) CURB. (2) MULCH LAYER. **(3)** PLANT.

(4) TURF (WHERE SHOWN ON PLAN).

PLANTING AT PARKING AREA

NON-CONIFEROUS

TREE

(4)、5)

3X ROOTBALL DIA.

PREVAILING

WINDS

STAKING EXAMPLES (PLAN VIEW)

(11)

NTS

(3)

(12)-

(5)

CONIFEROUS

TREE

- $(\mathbf{1})$ TREE CANOPY. (2) CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE
- JUST ABOVE LOWEST MAJOR BRANCHES. $(\mathbf{3})$ 24" X 3/4" P.V.C. MARKERS OVER WIRES.

- (6) TRUNK FLARE.
- TRUNK.
- (8) FINISH GRADE.
- (9) ROOT BALL.
- (10) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- (11) UNDISTURBED NATIVE SOIL.
- (12) 4" HIGH EARTHEN WATERING BASIN.

SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON

- UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE. 3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE, REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS
- MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL. REMOVE ALL NURSERY STAKES AFTER PLANTING. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS REQUIRE STAKES TO KEEP
- TREES UPRIGHT. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND. 6. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.

TREE PLANTING NTS

PREVAILING

WINDS

(1) SHRUB.

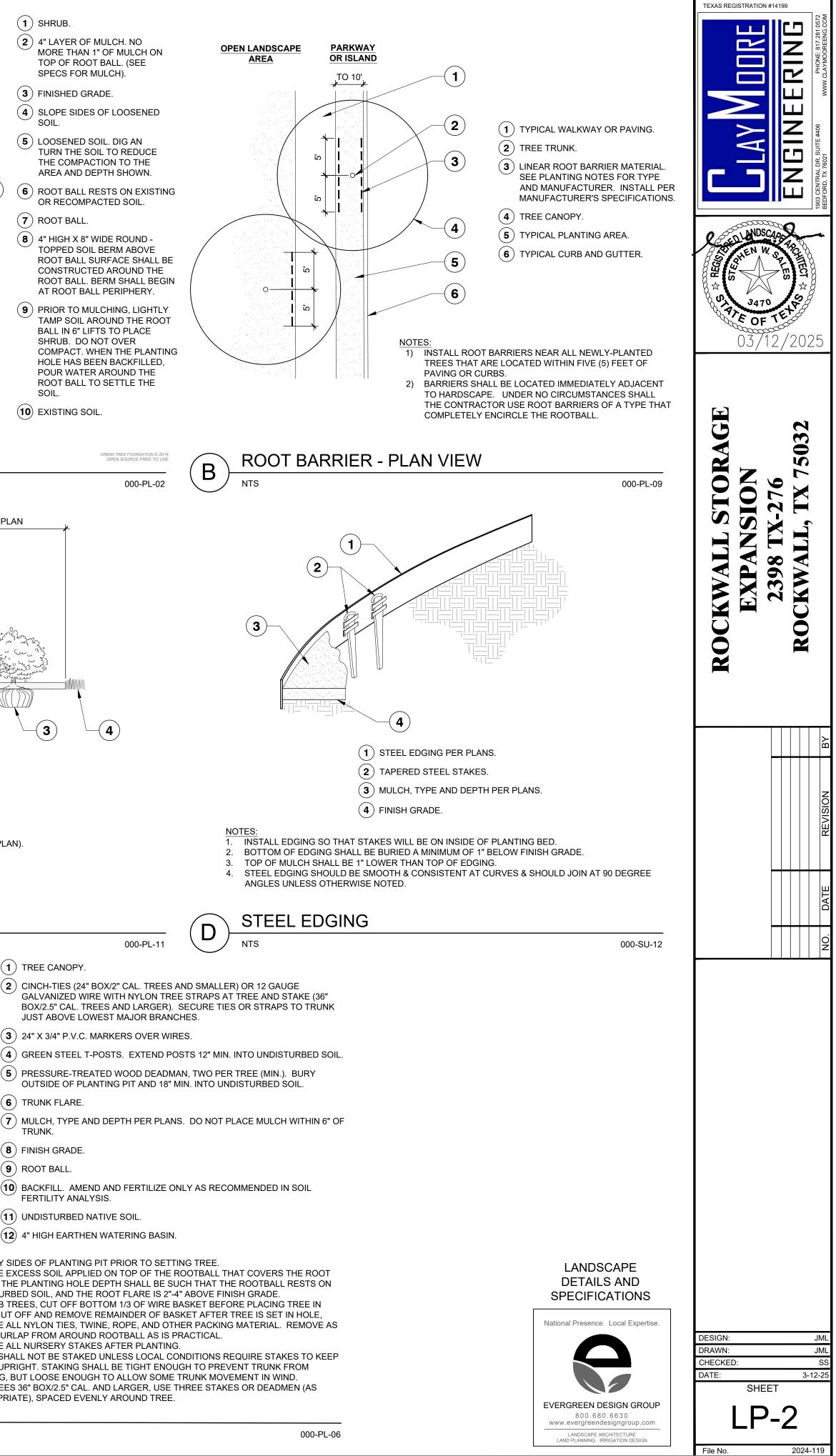
- (**2**) 4" LAYER OF MULCH. NO MORE THAN 1" OF MULCH ON TOP OF ROOT BALL. (SEE SPECS FOR MULCH).
- (**3**) FINISHED GRADE.
- (**4**) SLOPE SIDES OF LOOSENED SOIL.
- (**5**) LOOSENED SOIL. DIG AN TURN THE SOIL TO REDUCE THE COMPACTION TO THE AREA AND DEPTH SHOWN.
- $(\mathbf{6})$ ROOT BALL RESTS ON EXISTING OR RECOMPACTED SOIL.

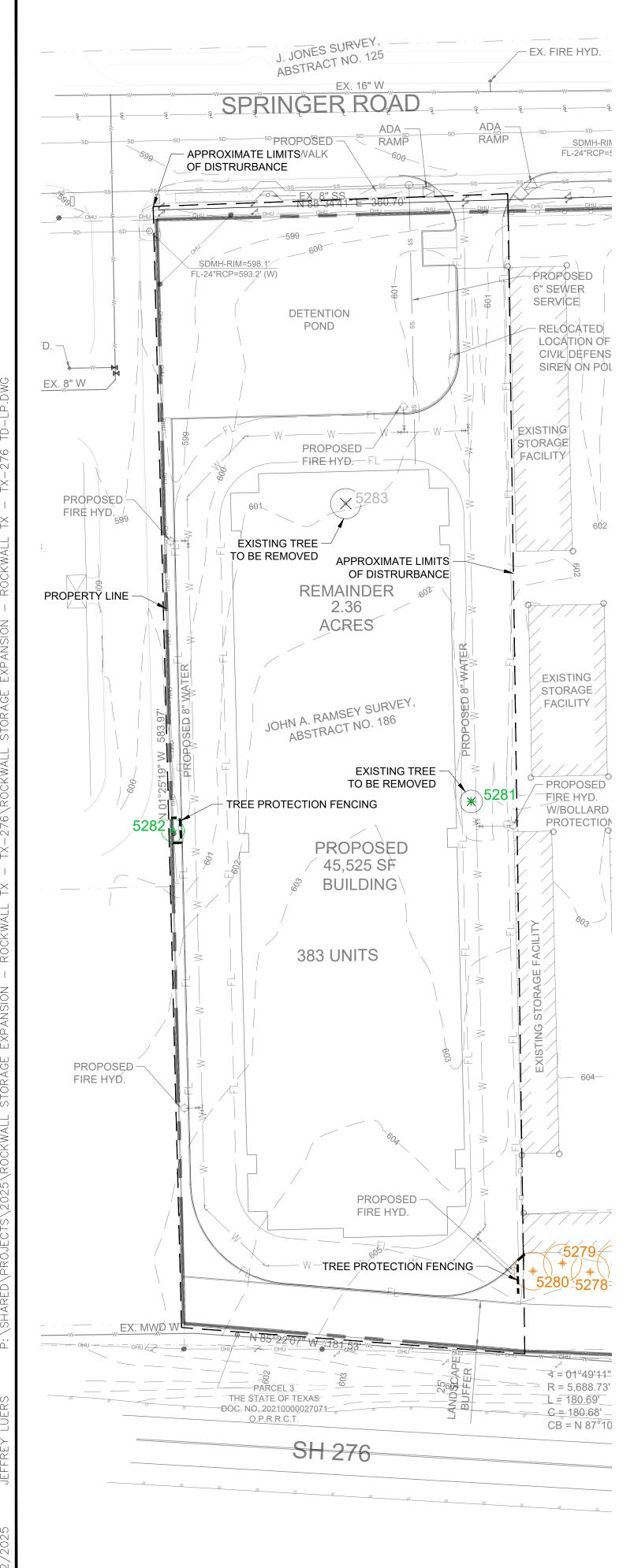
(7) ROOT BALL.

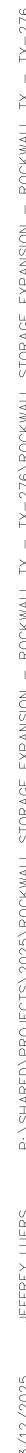
- 〔 **8** 〕 4" HIGH X 8" WIDE ROUND -TOPPED SOIL BERM ABOVE ROOT BALL SURFACE SHALL BE CONSTRUCTED AROUND THE ROOT BALL. BERM SHALL BEGIN AT ROOT BALL PERIPHERY.
- (9) PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO PLACE SHRUB. DO NOT OVER COMPACT. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR WATER AROUND THE ROOT BALL TO SETTLE THE

(10) EXISTING SOIL.

SOIL.







GRAPHIC SCALE 20

1 inch = 40 ft.

40

5XXX Non-Protected Trees	
5XXX Primary Trees - 1:1 Replacement Ratio	
5XXX Secondary Trees - 0.5 Replacement Ratio	

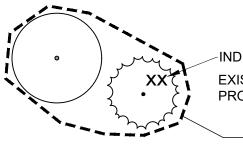
TREE INVENTORY

TREEID	SPECIES	DBH	STATUS	MITIGATION
5278	CREPEMYRTLE	10	REMAIN	
5279	CREPEMYRTLE	10	REMAIN	
5280	CREPEMYRTLE	10	REMAIN	
5281	CEDAR	6	REMOVE	YES4" TREE
5282	CEDAR	8	REMAIN	
5283	HACKBERRY	8	REMOVE	NO

TREE PROTECTION GENERAL NOTES

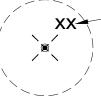
- (A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING: (1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED
- CABBAGE PALMS; (2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
- (3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- (B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES. CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST
- (C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE. NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED (D)
- TREE (E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, (F) ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE COUNTY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT
- (G) THE COUNTY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE COUNTY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES (H) OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

LEGEND



-INDICATES TREE NUMBER EXISTING TREES TO BE PROTECTED IN PLACE

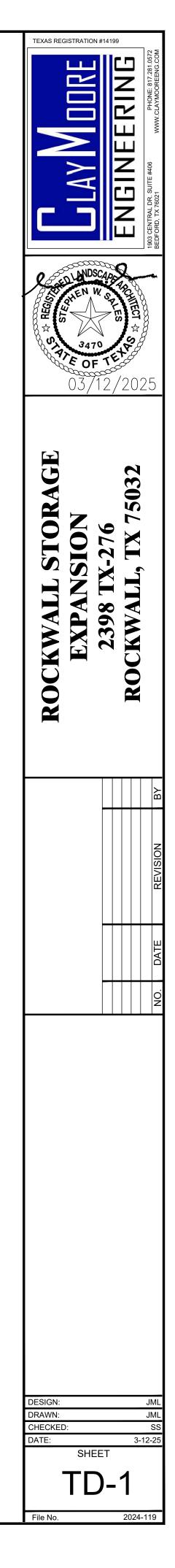
- TREE PROTECTION FENCE



-INDICATES TREE NUMBER EXISTING TREE TO BE REMOVED

NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

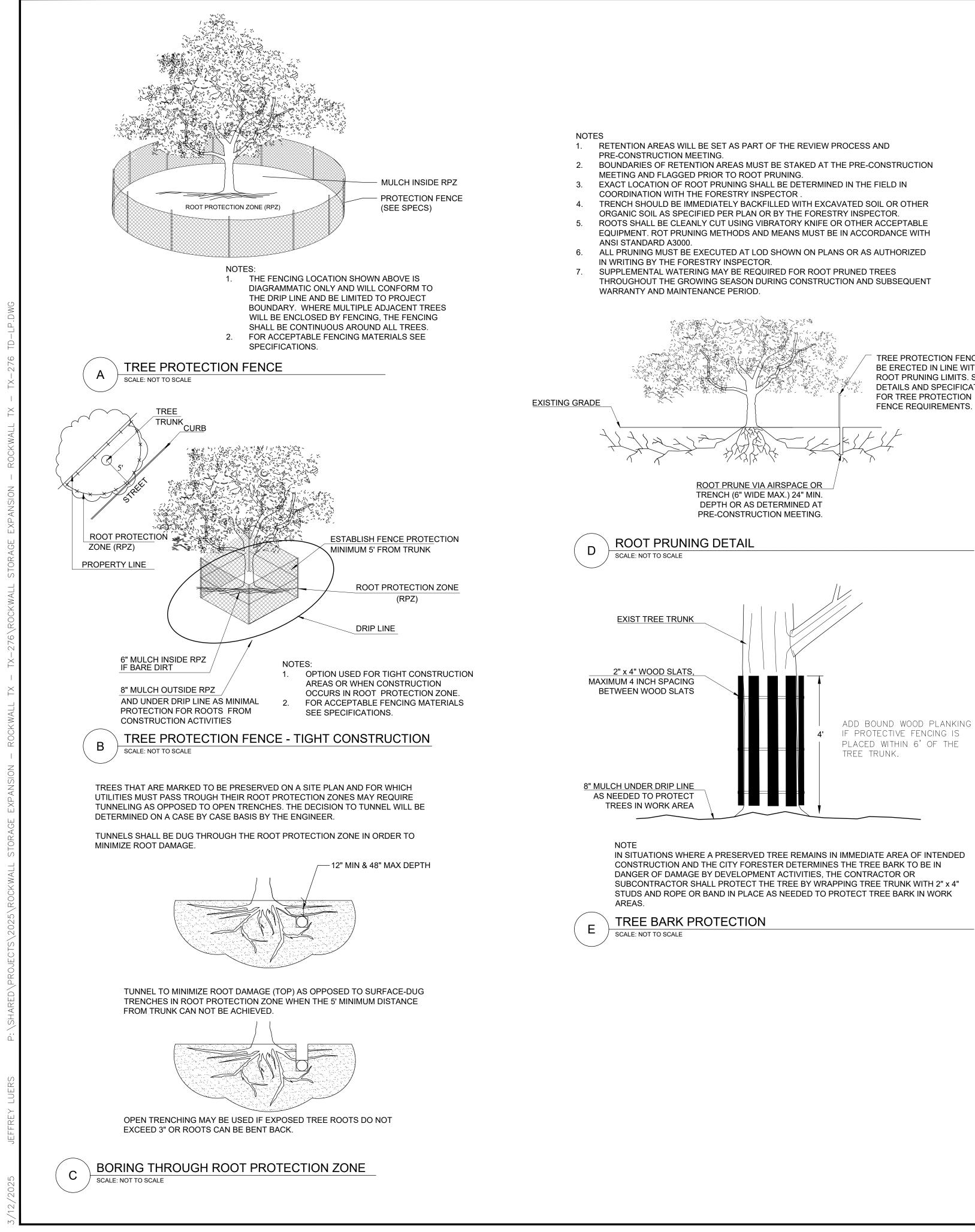
NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.



TREE DISPOSITION PLAN



EVERGREEN DESIGN GROUP 800.680.6630 www.evergreendesigngroup.com LANDSCAPE ARCHITECTURE LAND PLANNING · IRRIGATION DESIGN



TREE PROTECTION FENCE TO BE ERECTED IN LINE WITH ROOT PRUNING LIMITS. SEE DETAILS AND SPECIFICATIONS FOR TREE PROTECTION FENCE REQUIREMENTS.

TREE PROTECTION SPECIFICATIONS

MATERIALS

- 1. FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL 'T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE,
- 4. USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED

CONSTRUCTION METHODS

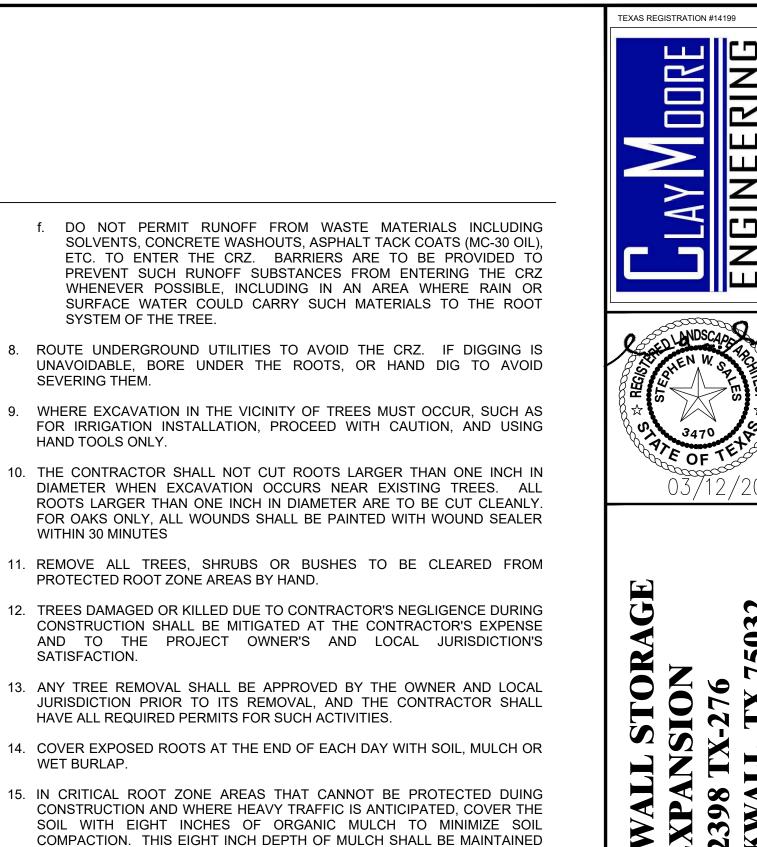
- 1. ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIM THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEG ANY DEVELOPMENT ACTIVITY.
- 2. EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- 5. THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER 6. AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.

WITHIN THE CRZ:

- a. DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE. b. DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR
- RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES. c. DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE
- TREE CANOPY. d. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
- e. DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.

TREE RELOCATION GUIDELINES

- 1. TREES SHALL NOT BE UNNECESSARILY DAMAGED DURING REMOVAL, TRANSPORT OR REPLANTING OF THE TREE.
- 2. IF THE TREE HAS A DORMANT PERIOD, THEY SHOULD BE TRANSPLANTED DURING THAT TIME. TREES SHOULD NOT BE TRANSPLANTED DURING PERIODS OF STRONG WINDS, DRY WINTER WINDS OR DURING DROUGHT.
- 3. ADEQUATE SPACES FOR ROOT AND CROWN DEVELOPMENT SHALL BE PROVIDED. 4. TREES SHALL BE ROOT AND CANOPY PRUNED IN ACCORDANCE WITH
- SOUND ARBORICULTURAL STANDARDS PRIOR TO TRANSPLANTING. 5. DURING AND FOLLOWING TRANSPLANTING, THE ROOT BALL AND TRUNK
- SHALL BE PROTECTED. THE ROOT BALL MUST BE KEPT MOIST AT ALL TIMES
- 6. TRANSPLANTED TREES SHALL BE BRACED FOR A MINIMUM OF ONE (1) YEAR
- 7. TRANSPLANTED TREES SHALL NOT BE FERTILIZED AT PLANTING TIME, BUT SHALL BE WATERED SUFFICIENTLY UNTIL THE TREE GROWTH IS REESTABLISHED.
- 8. ALL CROWN PRUNING SHALL BE DONE IN ACCORDANCE WITH "THE AMERICAN NATIONAL STANDARDS INSTITUTE A-300, TREE SHRUB AND OTHER WOODY PLANT MAINTENANCE-STANDARD PRACTICES", AND "Z-133.1 PRUNING, REPAIRING, MAINTAINING AND REMOVING TREES, AND CUTTING BRUSH-SAFETY REQUIREMENTS" OR PALM PRUNING IN ACCORDANCE WITH THE STANDARDS IN, RICHARD HARRIS, "ARBORICULTURE INTEGRATED MANAGEMENT OF LANDSCAPE TREES, SHRUBS AND VINES", AS AMENDED.
- 9. CONTRACTOR IS RESPONSIBLE FOR REGULAR WATERING AND MAINTENANCE OF TRANSPLANTED TREES DURING STORAGE PERIOD.



16. WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.

THROUGHOUT CONSTRUCTION.

- 17. WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- 18. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREE DISPOSITION DETAILS AND **SPECIFICATIONS**

National Presence. Local Expertise. **EVERGREEN DESIGN GROUP** 800.680.6630 www.evergreendesigngroup.com LANDSCAPE ARCHITECTURE LAND PLANNING · IRRIGATION DESIGN

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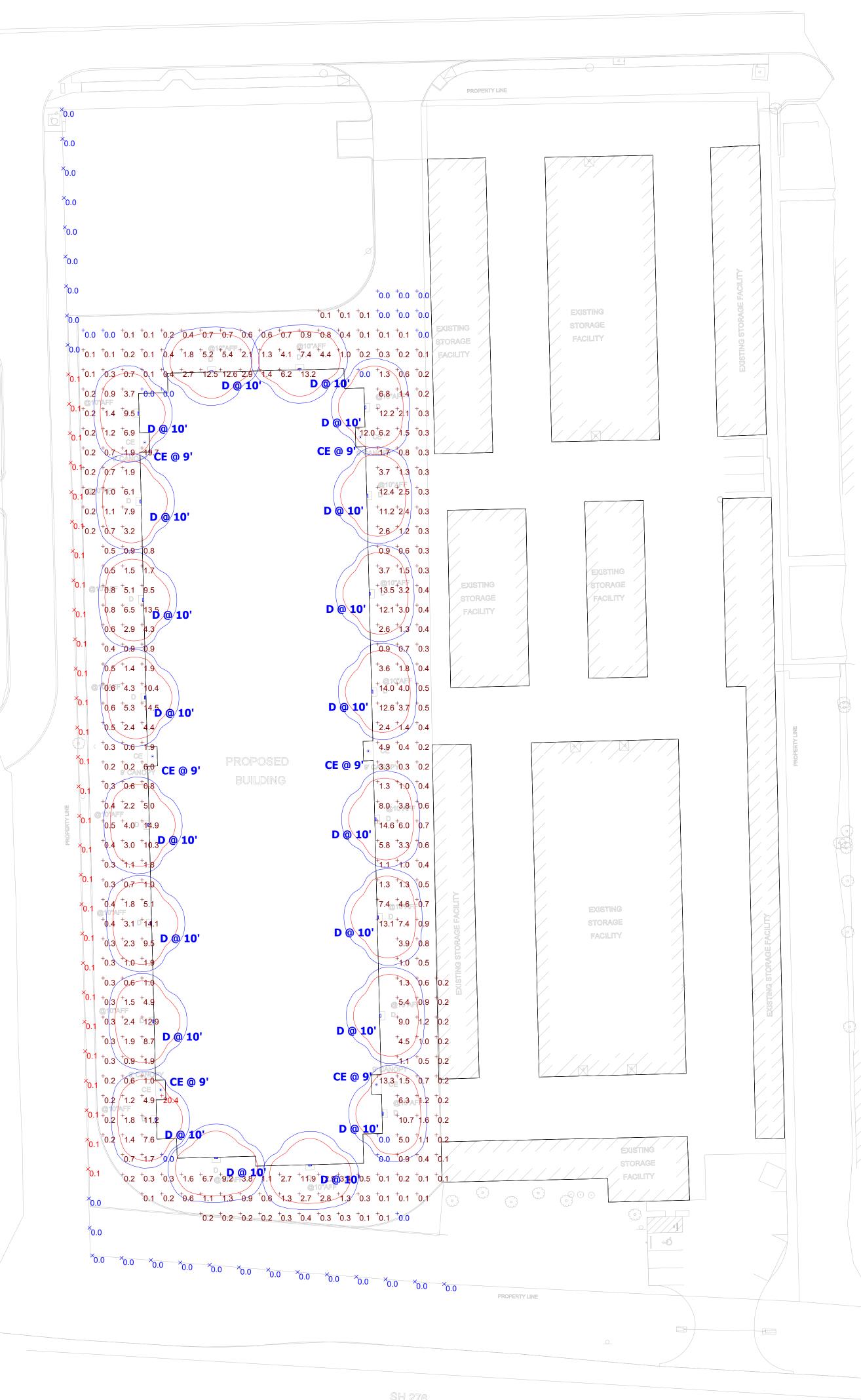
D.	
11TY OF GINNING	!

IFCKFI SHEET

File No.

D-

2024-1



<u>Plan View</u> Scale - 1" = 32ft

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE	X	0.1 fc	0.1 fc	0.0 fc	N/A	N/A
SITE	+	2.5 fc	20.4 fc	0.0 fc	N/A	N/A

SC	SCHEDULE - NOT FOR USE IN CONSTRUCTION DOCUMENTS												
S	ymbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Distribution
(CE	6	Lithonia Lighting	LDN6 40/25 LO6AR LD	6IN LDN, 4000K, 2500LM, CLEAR, MATTE DIFFUSE REFLECTOR, CRI80		1	LDN6_40_25_L O6AR_LD.ies	2244	0.95	28.25	DIRECT, SC- 0=1.02, SC- 90=1.03
		D	20	Lithonia Lighting	WPX2 LED 40K Mvolt	WPX2 LED wallpack 6000lm 4000K color temperature 120-277 Volt		1	WPX2_LED_40 K_Mvolt.ies	5896	0.95	47.77	TYPE III, VERY SHORT, BUG RATING: B1 - U0 - G1

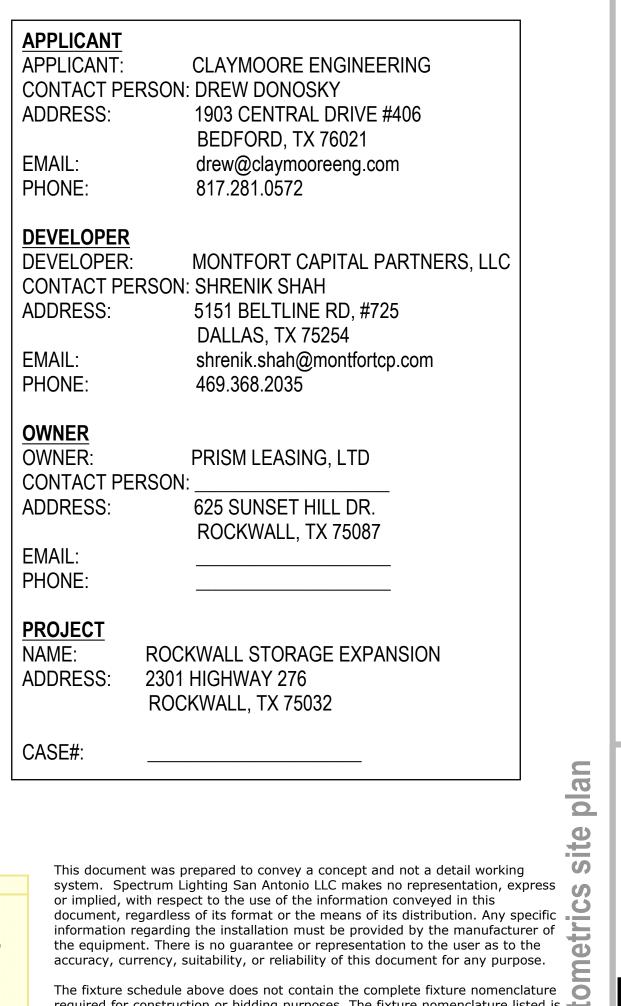


The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing full-cut off solution for both new construction and HID wall pack replacement/renovation opportunities. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life.



Note 1. ALL EXTERIOR CALCULATIONS ARE ASSUMED ON EVEN OR FLAT TERRAIN. 2. ALL EXTERIOR CALCULATIONS ARE TAKEN AT 0'-0" AFG.

3. VALUE NEXT TO LUMINAIRE LABEL DRAWING REPRESENTS OVERALL MOUNTING HEIGHT.



Expansion	
Rockwall Storage E An Expansion for The Storage Locker	2301 Hwy 276, Rockwall, Texas

PROJECT NUMBER

2506

DATE

03.12.25

SHEET NUMBER

BACA

100 NORTH TRAVIS STREET SUITE NO.500 SHERMAN, TEXAS 75090

903.893.5800

www.BACA.team

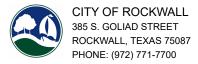
SPECTRUM LIGHTING, INC.

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

required for construction or bidding purposes. The fixture nomenclature listed is ∓ the photometric file of the base fixture. hd

Please contact Spectrum Lighting San Antonio for a complete fixture schedule.

PROJECT COMMENTS



DATE: 3/21/2025

PROJECT NUMBER:	SP2025-012
PROJECT NAME:	Site Plan for 1500 Mims Road
SITE ADDRESS/LOCATIONS:	1500 MIMS RD, ROCKWALL, TX 75032

CASE CAPTION: Discuss and consider a request by Frank Polma P.E. of R-Delta Engineers, Inc. on behalf of David Naylor of Rayburn Electric Cooperative for the approval of a Site Plan for a Private Indoor Gun Range on a 1.407-acre portion of a larger 48.6670-acre tract of land identified as Tract 3 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) [Ordinance No. 24-30] for Heavy Commercial (HC) District land uses, generally located on the northside of Mims Road west of the intersection of S. Goliad Street [SH-205] and Mims Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Henry Lee	03/21/2025	Needs Review	

03/21/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Private Indoor Gun Range on a 1.407-acre portion of a larger 48.6670-acre tract of land identified as Tract 3 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) [Ordinance No. 24-30] for Heavy Commercial (HC) District land uses, generally located on the northside of Mims Road west of the intersection of S. Goliad Street [SH-205] and Mims Road.

1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2025-012) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be plat in order to establish the new easements.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of ______, ____.

WITNESS OUR HANDS, this _____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan.

(1) Please indicate the delineated front yard setback as 25-feet. (Subsection 03.04.B, of Article 11, UDC)

(2) Please indicate any ground mounted equipment. On the landscape plan provide the necessary five (5) gallon evergreen shrubs for screening. (Subsection 01.05. C, of Article

05, UDC)

M.7 Landscape Plan.

(1) Please delineate and label the berms within the landscape buffer. (Subsection 05.01, of Article 08, UDC)

M.8 Photometric Plan

(1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)

(2) The light levels may not exceed 0.2 FC at any property line. In this case, the light levels exceed 0.2 FC along Mims Road. (Subsection 03.03.G, of Article 07, UDC)

M.9 Building Elevations

(1) The proposed building does not meet the primary and secondary articulation standards. Given the intended purposed of the building, the articulation options are limited. This will be an Exception. (Subsection 04.01, of Article 05, UDC)

(2) Please indicate the height of the parapet. Buildings with a flat roof are required a parapet that continues around the entire building. (Subsection 04.01, of Article 05, UDC)

M.10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.11 Revised and corrected plans are due by 3:00 PM on April 1, 2025.

I.12 Please note the scheduled meetings for this case:

(1) Planning & Zoning meeting/work session meeting will be held on March 25, 2025.

(2) Planning & Zoning meeting/public hearing meeting will be held on April 15, 2025.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments

03/20/2025: 1. Show detention area

2. Where is this and who does it belong to?

3. Water line to be centered in 20' easement

- 4. Install 5' sidewalk
- 5. Where is this?

General Comments:

General Items:

- Must meet City's 2023 Standards of Design and Construction

- 4% Engineering Inspection Fees

- Impact Fees (Water, Wastewater & Roadway)

- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.

- Retaining walls 3' and over must be engineered.

- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.

- The site will need to be platted.

- No signage is allowed within easements or ROW. No structures or fences within easements.

- Tree mitigation will be required for the removal of any existing trees on site.
- All utilities must be underground.
- Additional comments may be provided at time of Site Plan and Engineering.
- Dumpsters may not directly face a roadway.

Drainage Items:

- Detention is required if increasing impervious area. Detention is based on zoning, not specific land area use.
- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
- Detention easement required at freeboard elevation. No vertical walls are allowed in detention easement.
- Detention pond is required to have an emergency spillway.
- Existing flow patterns must be maintained.
- No water or sewer lines can be in detention easement.
- Detention ponds must be irrigated.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
- All dumpster areas shall drain to an oil/water spectator and then into the storm system.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- There is an existing 12" water main along Mims Road available for use.
- Minimum public sewer is 8". Minimum private sewer service is 6".
- All commercial sewer connections must be made by a proposed or existing manhole.
- There is an existing 18" sewer main along the back floodplain area availabe for use.
- Water and sanitary sewer and storm sewer must be 10' apart.
- All public utilities must be centered in an easement. Min 20' utility easements.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.

Roadway Paving Items:

- All driveways must meet City spacing requirements.
- All parking, storage, drive aisles must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No gravel or asphalt allowed in any area.
- All Parking to be 20'x9' minimum.
- No dead-end parking allowed without an City approved turnaround. 15'x64' striped no parking.
- Drive isles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane (if needed) to be in a platted easement.

Landscaping:

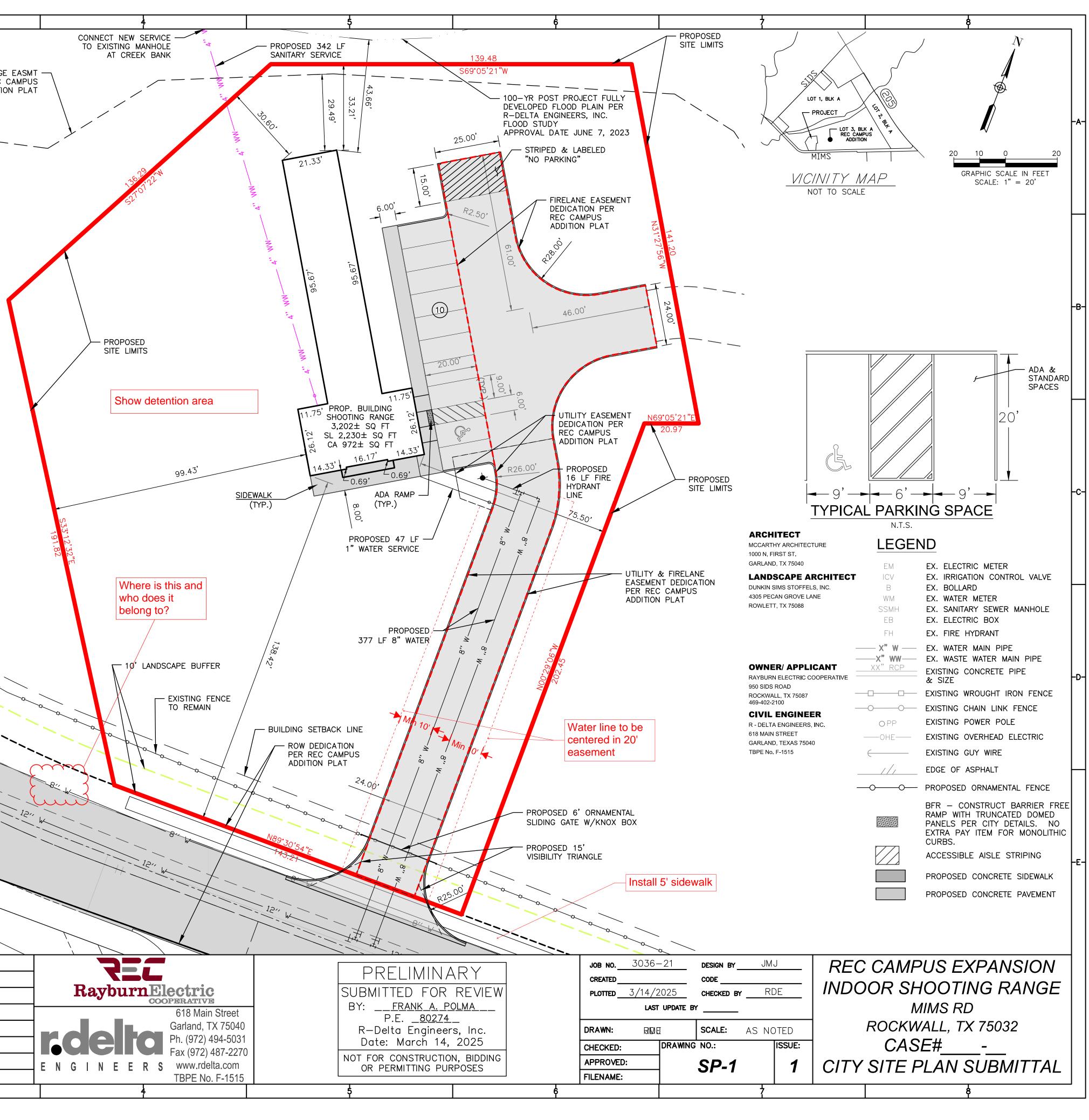
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

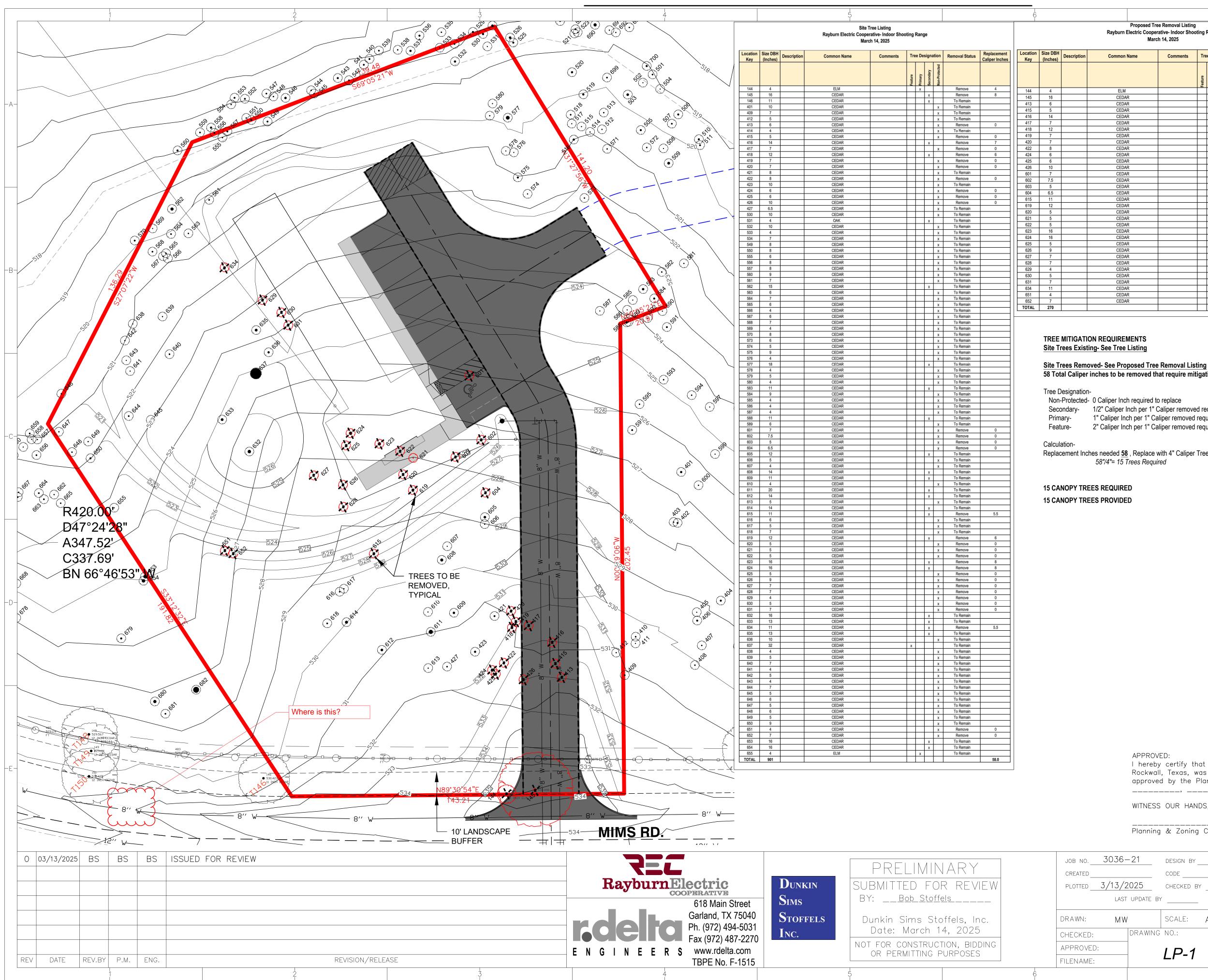
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/20/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	03/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	03/17/2025	Approved w/ Comments	
03/17/2025: Assigned address	s will be 1500 MIMS RD, ROCKWALL, TX 75032	2		
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	03/17/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	03/17/2025	Approved w/ Comments	
03/17/2025: 1. Landscape app	proved			

2. tree mitigation approved

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Rayburn Electric Coope	ee Removal Listing rative- Indoor Shoc ch 14, 2025		Rang	N				
Common Name	Comments	Tre	e Des	signa	tion	Removal Status	Replacement Caliper Inches	
		Feature	Primary	Secondary	Non-Protected			
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EXISTING TREES TO REMAIN

EXISTING TREES TO BE REMOVED

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58 Total Caliper inches to be removed that require mitigation

Secondary- 1/2" Caliper Inch per 1" Caliper removed required to replaced 1" Caliper Inch per 1" Caliper removed required to replaced 2" Caliper Inch per 1" Caliper removed required to replaced

Replacement Inches needed 58, Replace with 4" Caliper Trees 58"/4"= 15 Trees Required

Rockwall, Texas, was	foregoing site plan for a development in the City of Commission of the City of Rockwall on the day of
——————————————————————————————————————	of,
Planning & Zoning Commission, Cho	airman Director of Planning and Zoning
6–21 design by BS code /2025 checked by BS	REC CAMPUS - INDOOR SHOOTING LANDSCAPE PLANS
IW SCALE: AS NOTED DRAWING NO.: ISSUE:	
<i>LP-1</i> 7	REESCAPE PLAN

	DEVELOPMEN City of Rockwall Planning and Zonin 385 S. Goliad Street Rockwall, Texas 7508	ng Department	ION PL <u> NC</u> SIC DIF CIT	TY UNTIL THE PLANI GNED BELOW. RECTOR OF PLANNI TY ENGINEER:	ON IS NOT CONSIDEF VING DIRECTOR AND NG:		
PLATTING APPLICAT	0.00 + \$15.00 ACRE) 1 T (\$200.00 + \$15.00 ACRE) 1 I0 + \$20.00 ACRE) 1 \$20.00 ACRE) 1 IOR PLAT (\$150.00) ENT REQUEST (\$100.00) ION FEES:	-	ZONING APPI ZONING C SPECIFIC PD DEVEL OTHER APPL TREE REW VARIANCE NOTES: N DETERMINING PER ACRE AMOUN & A \$1,00.00 FE	LICATION FEES: HANGE (\$200.00 + USE PERMIT (\$200 OPMENT PLANS (ICATION FEES: IOVAL (\$75.00) REQUEST/SPECI STHE FEE, PLEASE USE THE FEE, PLEASE USE THE FEE, PLEASE USE STHE FEE, PLEASE USE WILL BE ADDED TO E WILL BE ADDED TO		CRE) 1 (100.00) 2 WHEN MULTIPLYING DUND UP TO ONE (1 FOR ANY REQUES) ACRE. ST THAT
ADDRESS SUBDIVISION GENERAL LOCATION	MATION [PLEASE PRINT] 950 Sids Road, Roc REC Campus A 1,200+/- feet sou NAND PLATTING INF PD-44	ddition utheast along Mi		E Comme	rcial - vacar	nt	A
	PD-44 1.407 ATS: BY CHECKING THIS BOX ROVAL PROCESS, AND FAILUR			LOT SSAGE OF <u>HB3167</u>		1 ER HAS FLEXIB	ILITY WITH
CONTACT PERSON	AL OF YOUR CASE. TIAGENT INFORMATI Cayber Electric David Naylor ZED Sids Rd	Cosperative		R-Delta E Frank A. I	Engineers, Ir Polma, P.E.		
PHONE E-MAIL		lectric.com	CITY, STATE & ZIF PHONE E-MAIL	972-494	@rdelta.com		
stated the information "I hereby certify that I am \$278.14 March INFORMATION CONTAINED W	NED AUTHORITY, ON THIS DAY ON THIS APPLICATION TO BE T 	RUE AND CERTIFIED THE FO OF THIS APPLICATION; ALL II OF THIS APPLICATION, HAS B THIS APPLICATION, I AGREE HE PUBLIC. THE CITY IS AL H REPRODUCTION IS ASSOCIA	NFORMATION SUBN EEN PAID TO THE C THAT THE CITY OF SO AUTHORIZED A	ROCKWALL (I.E. "CIT ND PERMITTED TO	JE AND CORRECT; AN N THIS THE Y") IS AUTHORIZED AI REPRODUCE ANY CO	ID THE APPLICAT 13th ND PERMITTED 1 OPYRIGHTED INI	TON FEE OF DAY_OF TO PROVIDE
GIVEN UNDER MY HAND AND	O SEAL OF OFFICE ON THIS THE OWNER'S SIGNATURE R THE STATE OF TEXAS	Buie	<u>ch</u> , 20 <u></u>	25 / W	Notary I	PAMELA BUI Public, State c Expires 09-0 Iry ID 133943	of Texas 1-2026

DEVELOPMENT APPLICATION [P] (9



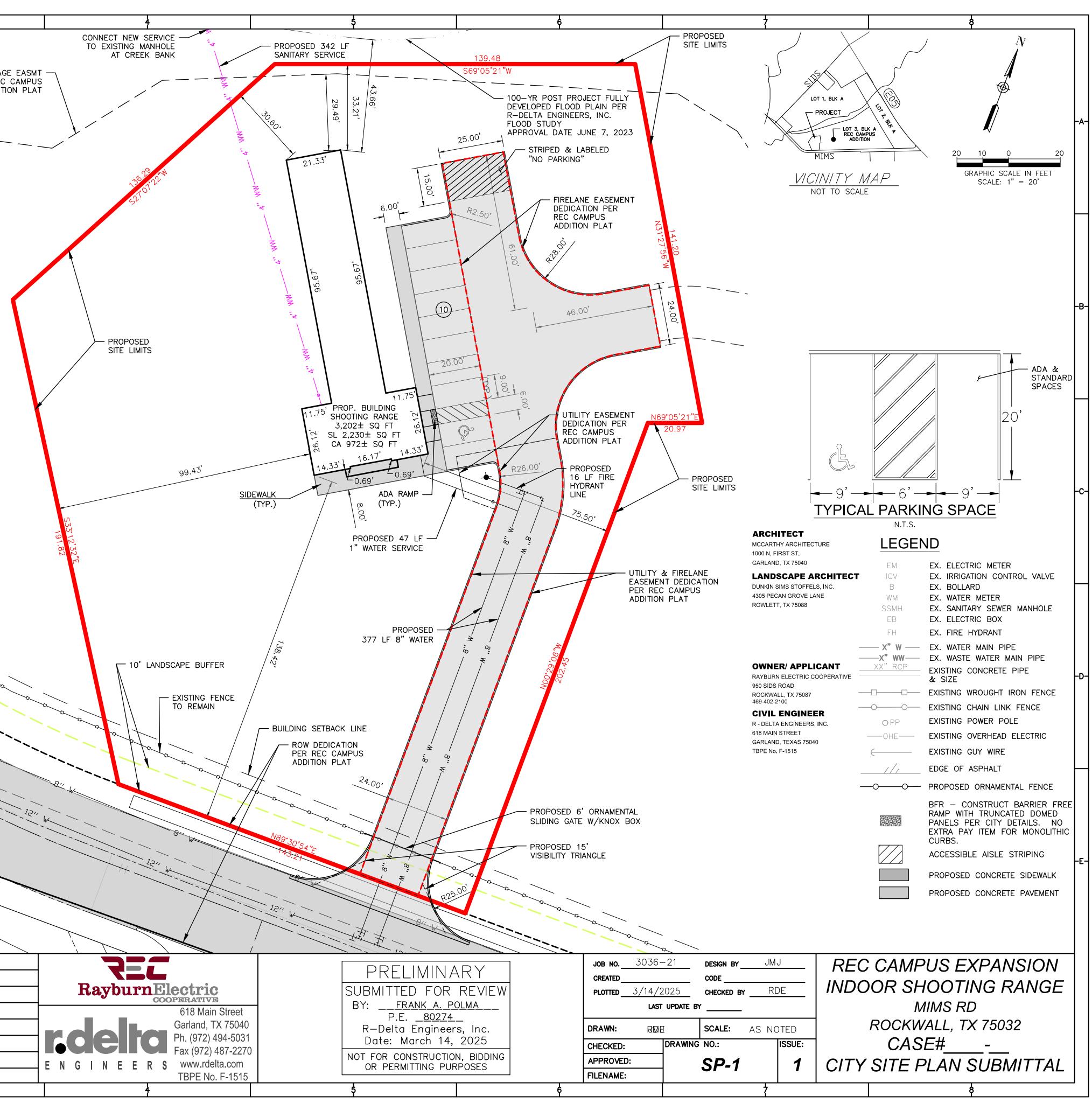


City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



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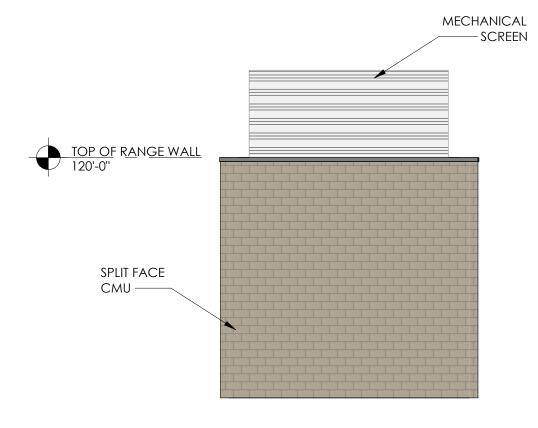
SHOOTING RANGE

2 EXTERIOR ELEVATION SCALE: 1/8" = 1'-0"

<u>TOP OF PITCH ROOF</u> 125'-3"		12	
OWNER SELECTED STUCCO	CJ		RCH FAB HELIOS ANOPY DARK BRONZE
STONE BUFF LUEDERS LIMESTONE	DARK BRONZE		

BUILDING MATERIAL CALCULATIONS FOR WALLS										
WEST	PERCENT									
670 S.F	100%									
555 S.F	83%									
115 S.F	17%									
	WEST 670 S.F 555 S.F									

4 EXTERIOR ELEVATION SCALE: 1/8" = 1'-0"



GENERAL NOTE: ROOF AND MECHAI	VICAL NOT P	ART OF

ELEVATION CALCULATIONS

BUILDING MATERIAL CALCULATIONS FOR WALLS								
CATEGORIES	WEST	PERCENT						
TOTAL SQ FT EXCLUDING WINDOWS, DOORS AND ROOF	420 S.F	100%						
Split face CMU - Velvet antler SW 9111	420 S.F	100%						
		1						







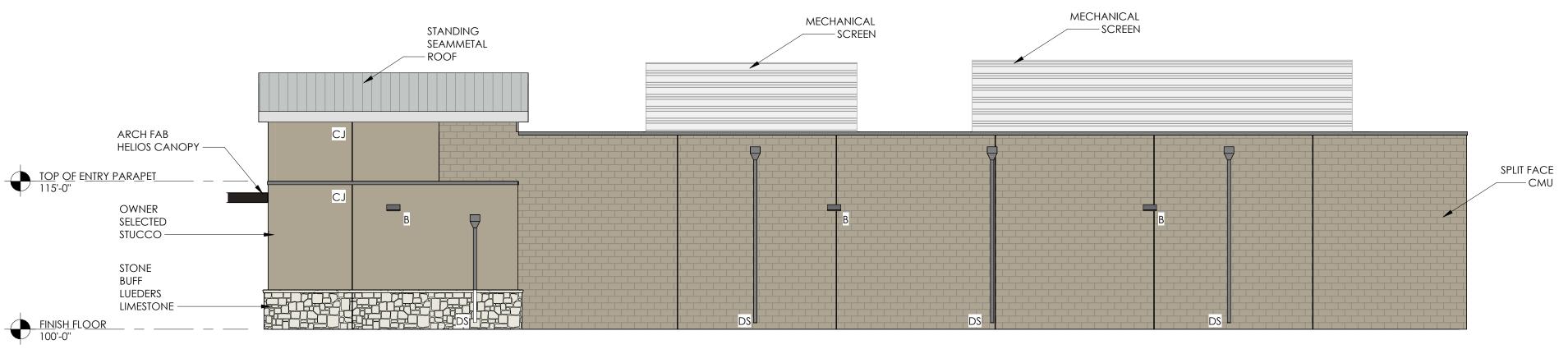
STONE - BUFF LUEDERS LIMESTONE



DARK BRONZE ALUM. FRAME

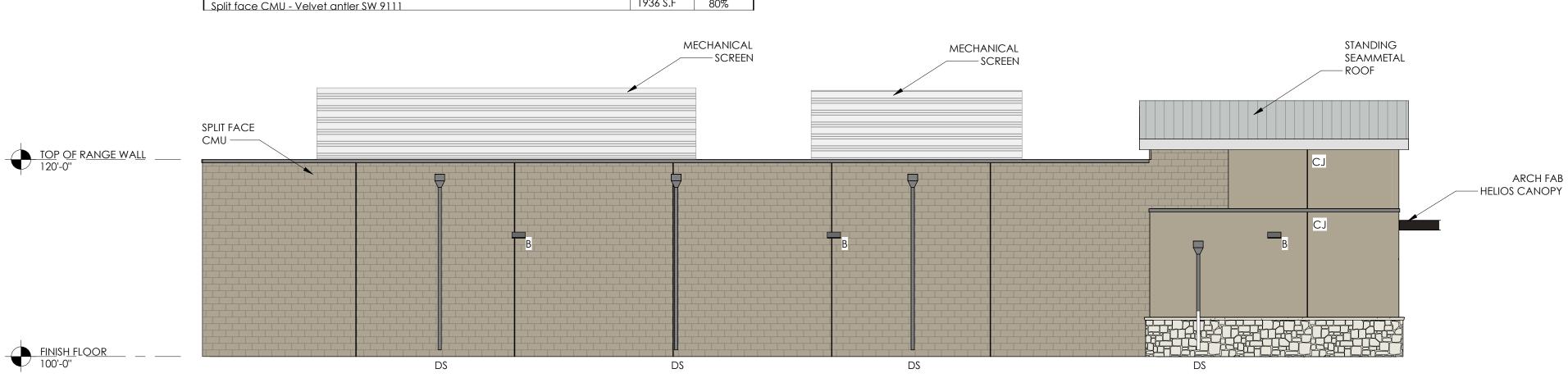


BUILDING MATERIAL CALCULATIONS FOR WALLS									
CATEGORIES	WEST	PERCENT							
TOTAL SQ FT EXCLUDING WINDOWS, DOORS AND ROOF	2416 S.F	100%							
Stucco - Velvet antler SW 9111	375 S.F	16%							
Stone - Buff lueders limestone	105 S.F	4%							
Split face CMU - Velvet antler SW 9111	1936 S.F	80%							



3 EXTERIOR ELEVATION SCALE: 1/8" = 1'-0"

BUILDING MATERIAL CALCULATIONS FOR WALLS											
CATEGORIES	WEST	PERCENT									
TOTAL SQ FT EXCLUDING WINDOWS, DOORS AND ROOF	2416 S.F	100%									
Stucco - Velvet antler SW 9111	375 S.F	16%									
Stone - Buff lueders limestone	105 S.F	4%									
Split face CMU - Velvet antler SW 9111	1936 S.F	80%									



EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

APPROVED:

FINISH FLOOR

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, ____.

WITNESS OUR HANDS, this _____ day of

Planning & Zoning Commission, Chairman

GALVALUME



SPLIT FACE CMU - SW9111 VELVET ANTLER

RAYBURN ELECTRIC CO-OP SHOOTING RANGE ROCKWALL, TEXAS

DESIGN TEAM

OWNER: **RAYBURN ELECTRIC CO-OP** 950 SIDS RD. ROCKWALL, TX 75032 P: 469.402.2100

PULLIAM CONSTRUCTION

MANAGEMENT CONSTRUCTION MANAGER: 303 S. JACKSON ST., SUITE 100 WYLIE, TEXAS 75098 P: 972.442.0400

ARCHITECT: MCCARTHY ARCHITECTURE 1000 N. FIRST ST.

GARLAND, TX. 75040 P: 972.272.2500

STRUCTURAL ENGINEER: BLAKE WILSON

ENGINEERING, PLLC 1848 NORWOOD PLAZA SUITE 114 HURST, TEXAS 76054 P: 817.268.2345 P P: 817.282.1636 F

MEP ENGINEERING: MEP SYSTEMS

918 DRAGON ST DALLAS, TEXAS 75207 P: 214.915.0929

ISSUE

SEAL

DRAWING NO.

Copyright © 2025

COLORED ELEVATIONS

DATE: SCALE: JOB NO. DRAWN: APPD: ACAD #

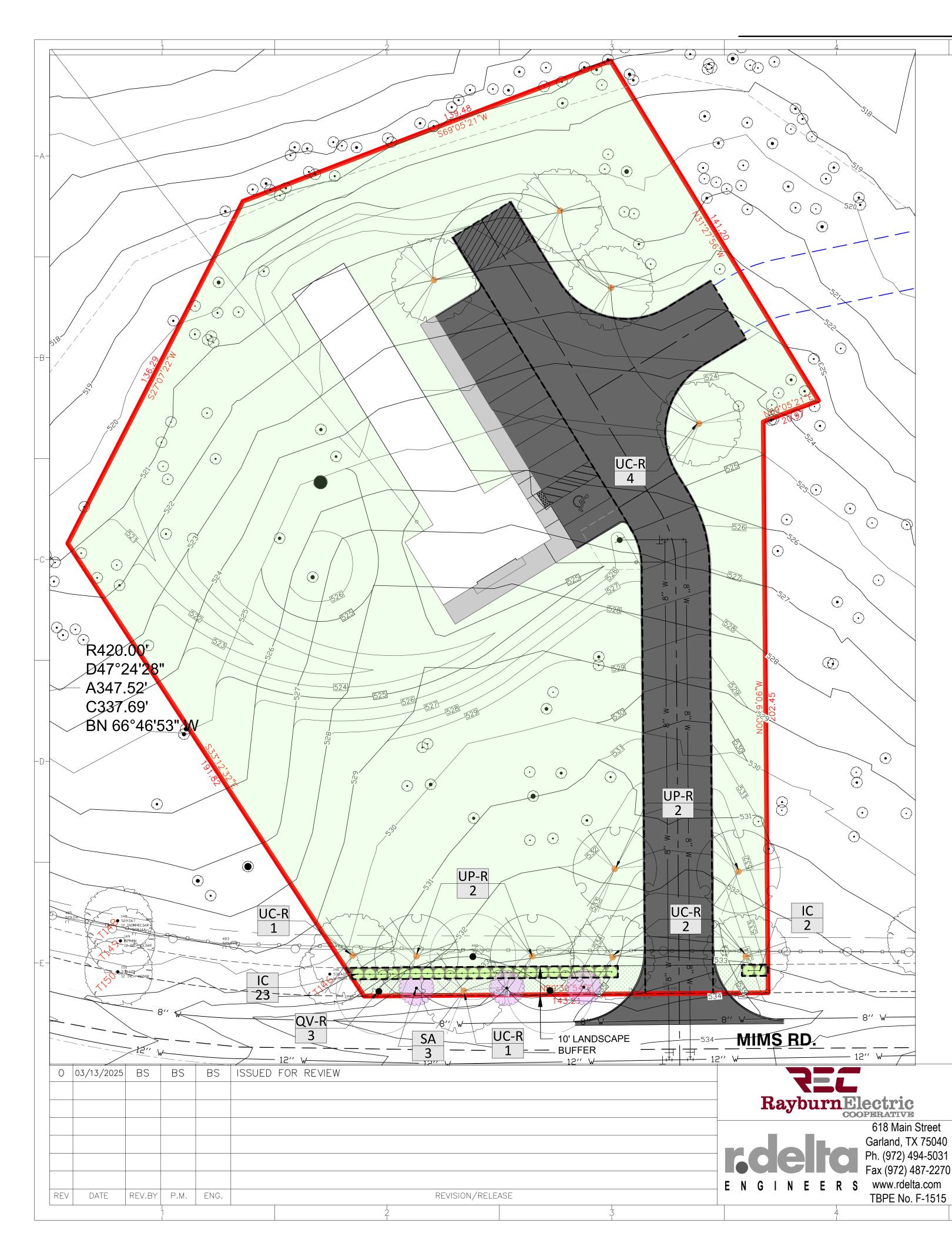
REV NO.

02.10.2025

MA24019 Author

Approver





				6	
Plant Schedu	le				
TREES	<u>CODE</u>	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	SIZE
	UC	8	Ulmus crassifolia	Cedar Elm	65 gal.
	UP	4	Ulmus parvifolia	Lacebark Elm	65 gal.
•	QV	3	Quercus virginiana	Live Oak	65 gal.
	SA	3	Sophora affinis	Eve's Necklace	45 gal.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
\odot	IC	25	llex cornuta 'Burfordii Nana'	Dwarf Burford Holly	10 ga
GROUND COVE	RS	CODE	QTY BOTANICAL NAI	ME COMMON NA	ME
¥ ¥ ¥ ¥		Ber c11	45,975 s.f. Tif Tuf Bermuda	a Tif Tuf Bermu	da Grass
		Shd mu	l 425 s.f.	Shredded Hard	wood Mulc

NOTES

1. "The owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding, and such activities common to the maintenance of landscaping"

2. "Landscape areas shall be kept free of trash, litter, weeds and other such material or plants not a part of the landscaping"

3. "No substitutions for plant materials without approval by the Director"

4. "The right-of-way adjacent to required landscape areas shall be maintained by the property owner in the same manner as the required landscape area. All driveways shall maintain site visibility. All plantings intended for erosion control will be maintained. The City may require revegetation to prevent erosion or slippage"

5. "All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant materials which die shall be replaced with plant material of similar variety and size"

6. "When overhead or underground utilities are present, landscape plan alterations may be considered by the Director"

7. "All required landscape areas shall be provided with an automatic underground irrigation system with rain and freeze sensors and/or evapotranspiration (ET) weather-based controllers and said irrigation system shall be designed by a qualified professional and installed by a licensed irrigator"

8. "All trees are to be equipped with a bubbler irrigation system"

9. "Required landscaped open areas and disturbed soil areas shall be completely covered with living plant material"

10. "All streetscape furniture (benches, lampposts, trash receptacles, patio furniture, bike racks, etc.) shall be a chip and flake resistant metal, decorative, and generally black "storm cloud" or comparable in color"

11. "Excessive pruning of plant materials is prohibited. (e.g. topping crape myrtles, pruning "up" creating a carrot top")

12. "All transformers and mechanical equipment to be screened with evergreen shrubs, to be 2' at time of planting."

13. No Tree Planting within 5 feet of water/storm sewer lines.

DUNKIN Sims STOFFELS INC.

PRELIMINARY	
SUBMITTED FOR REVIEW	
BY: <u>Bob_Stoffels</u>	
Dunkin Sims Stoffels, Inc. Date: March 14, 2025	
NOT FOR CONSTRUCTION, BIDDING OR PERMITTING PURPOSES	

LANDSCAPE REQUIREMENTS Total Site Area - 61,277 SF = 1.41 Acres

Site Landscape Area Total Site Landscape Area - 46,400 SF = 76% of Site 45,975 SF TURF PROVIDED

425 SF OF LANDSCAPE BED 744 SF OF TURF PROVIDED

Street Frontage Length - 143 LF

3 CANOPY / 3 ACCENT TREES REQUIRED 3 CANOPY / 3 ACCENT TREES PROVIDED

Landscape Parking Trees 1 Canopy Tree/ 10 parking spaces

1 TREE REQUIRED

4 TREES PROVIDED

IRRIGATION:

be provided.

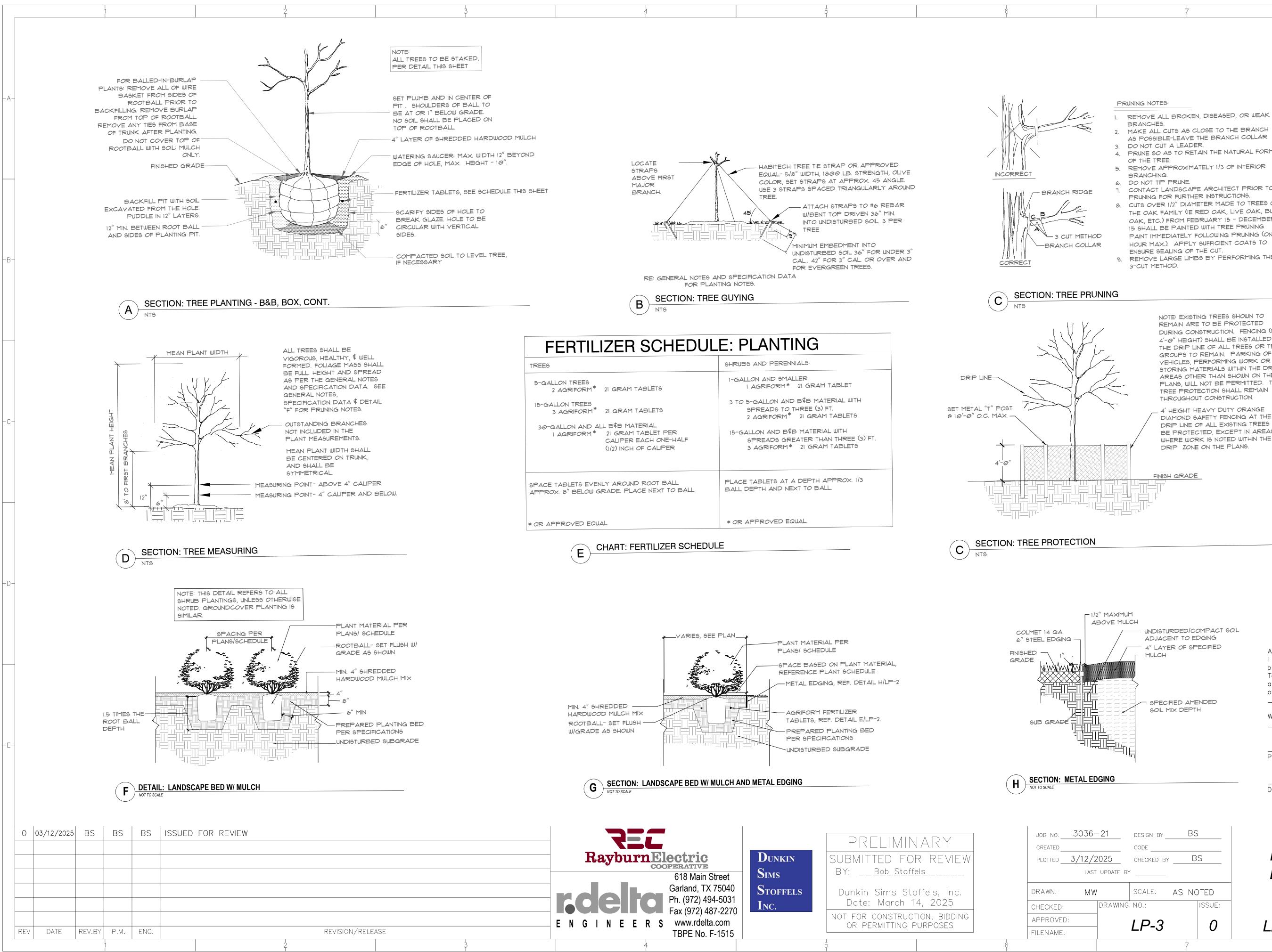
NOTE:

exceptions granted to Owner.

success of newly planted trees.

JOB NO	30
CREATED	
PLOTTED	3/1
DRAWN:	
CHECKED:	
APPROVED:	
FILENAME:	

NI REMARKS 4" Caliper, Min 12` Ht., 7' Spread 4" Caliper, Min 12` Ht., 7' Spread GRAPHIC SCALE IN FEET SCALE: 1'' = 20'4" Caliper, Min 12` Ht., 7' Spread 3" Caliper, Min 6` Ht., 4' Spread REMARKS CONTAINER - SITE LOCATION 4` O.C., Min. 3' Ht. al. Cont. REMARKS LEGEND Solid Sod PLANT SYMBOL, REF. PLANT SCHEDULE lch --PLANT QUANITY -R = REPLACEMENT TREE FOR MITIGATION REF. PLANT SCHEDULE PLANT QUANITY (\cdot) EXISTING TREES TO REMAIN METAL EDGING @ PLANTING BED BORDER WITH TURF, QUANITY- 226 L.F. 425 SF LANDSCAPE PLANTING BED PROVIDED Landscape Buffer Components Street Frontage- Mims Rd. Total (10' Wide) Required Landscape Buffer Area - 1,169 SF TREE MITIGATION REQUIREMENTS Total (10' Wide) Provided Landscape Buffer Area - 1,169 SF Site Trees Existing- See Tree Listing- Sheet LP-1 Site Trees Removed- See Proposed Tree Removal Listing- Sheet LP-1 58 Total Caliper inches to be removed that require mitigation Landscape Buffer Trees Street Frontage- Mims Rd. Tree Designation-1 Canopy Tree per 50 LF of Street Frontage (Min.4" Cal.) Non-Protected- 0 Caliper Inch required to replace 1 Accent Tree per 50 LF of Street Frontage (6' Ht. Min.) Secondary- 1/2" Caliper Inch per 1" Caliper removed required to replaced Primary-1" Caliper Inch per 1" Caliper removed required to replaced 2" Caliper Inch per 1" Caliper removed required to replaced Feature-Calculation-Replacement Inches needed 58, Replace with 4" Caliper Trees 58"/4"= 15 Trees Required 1 Tree within 80' of each parking space **15 CANOPY TREES REQUIRED 15 CANOPY TREES PROVIDED** An automatic irrigation system will be APPROVED: installed by the Owner, to water the required I hereby certify that the above and foregoing site landscape improvements. Irrigation plans to plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of Landscape Plans shall meet requirements in _____, ____. the Unified Development Code-Article 8 with WITNESS OUR HANDS, this ____ day of _____, ____. Trees that are existing within the landscape buffer or limbs that enter into the landscape buffer shall be pruned by a certified arbortist. It shall be pruned to allow for sunlight to Planning & Zoning Commission, Chairman filter through the existing tree to facilitate Director of Planning and Zoning DESIGN BY BS REC CAMPUS -36-21 CODE **INDOOR SHOOTING** 13/2025____ СНЕСКЕД ВУ _____ BS LAST UPDATE BY _____ LANDSCAPE PLANS SCALE: AS NOTED ΜW DRAWING NO .: ISSUE: *LP-2* 0 LANDSCAPE PLAN



36-	-21	DESIGN BY	BS	S
		CODE		
2/2	2025	CHECKED BY	B	S
LAST	UPDATE BY	·		
ΜW		SCALE:	AS NO	DTED
	DRAWING	NO.:		ISSUE:
		LP-3		0
			7	

LANDSCAPE DETAILS

REC CAMPUS-INDOOR SHOOTING LANDSCAPE PLANS

Director of Planning and Zoning

Planning & Zoning Commission, Chairman

WITNESS OUR HANDS, this ____ day of _____, ____,

approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, ____,

plan for a development in the City of Rockwall, Texas, was

APPROVED: I hereby certify that the above and foregoing site

UNDISTURDED/COMPACT SOIL ADJACENT TO EDGING - 4" LAYER OF SPECIFIED

4' HEIGHT HEAVY DUTY ORANGE DIAMOND SAFETY FENCING AT THE DRIP LINE OF ALL EXISTING TREES TO BE PROTECTED, EXCEPT IN AREAS WHERE WORK IS NOTED WITHIN THE DRIP ZONE ON THE PLANS.

THROUGHOUT CONSTRUCTION.

NOTE: EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES, PERFORMING WORK OR STORING MATERIALS WITHIN THE DRIP AREAS OTHER THAN SHOWN ON THE PLANS, WILL NOT BE PERMITTED. THE TREE PROTECTION SHALL REMAIN

HOUR MAX.). APPLY SUFFICIENT COATS TO

2. MAKE ALL CUTS AS CLOSE TO THE BRANCH 3. DO NOT CUT A LEADER.

- 4. PRUNE SO AS TO RETAIN THE NATURAL FORM
- AS POSSIBLE-LEAVE THE BRANCH COLLAR

- OF THE TREE.

- 5. REMOVE APPROXIMATELY 1/3 OF INTERIOR
- BRANCHING.
- 6. DO NOT TIP PRUNE.

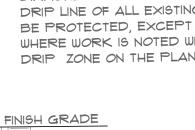
CONTACT LANDSCAPE ARCHITECT PRIOR TO

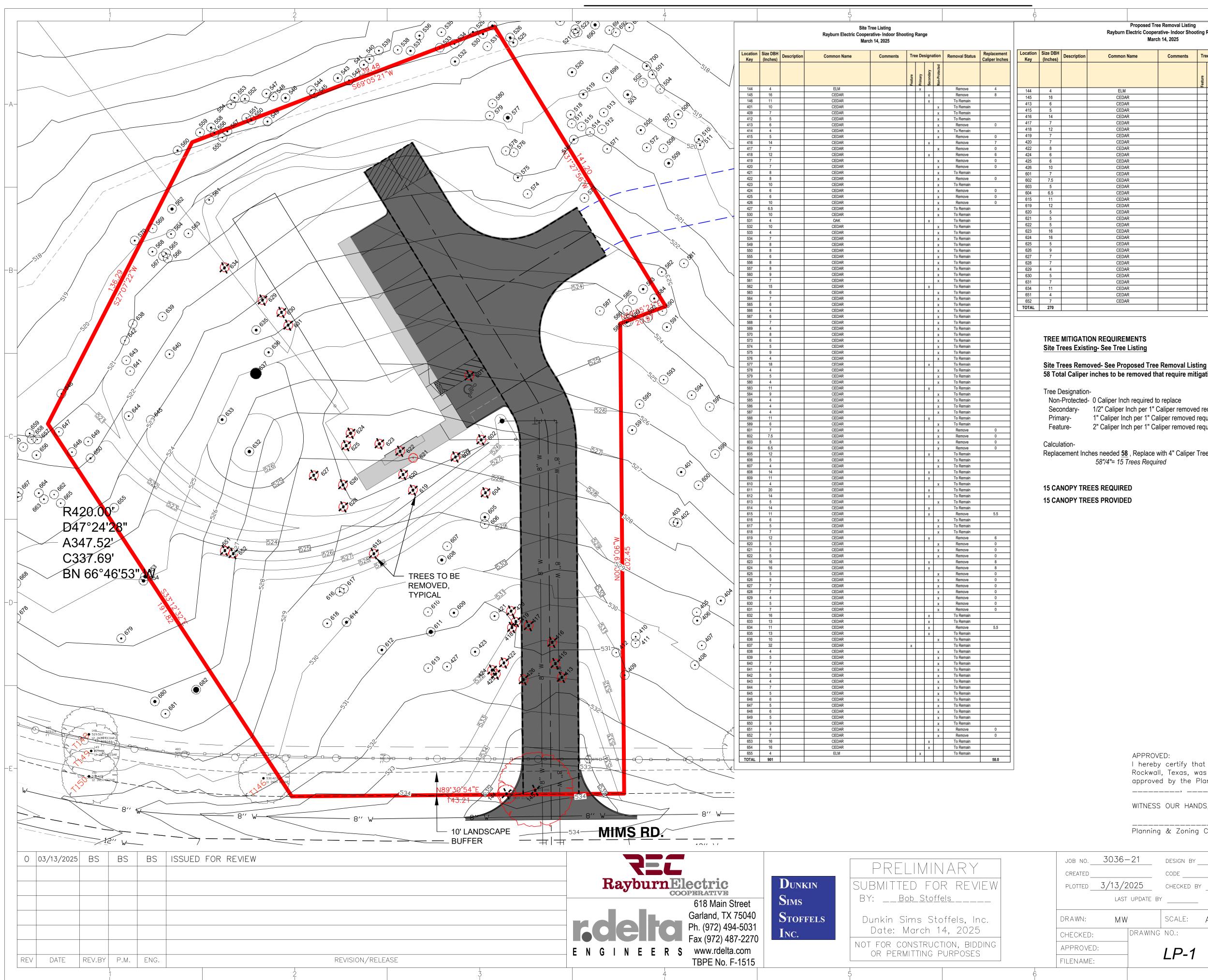
PRUNING FOR FURTHER INSTRUCTIONS.

8. CUTS OVER 1/2" DIAMETER MADE TO TREES OF THE OAK FAMILY (IE RED OAK, LIVE OAK, BUR

OAK, ETC.) FROM FEBRUARY 15 - DECEMBER 15 SHALL BE PAINTED WITH TREE PRUNING PAINT IMMEDIATELY FOLLOWING PRUNING (ONE

- ENSURE SEALING OF THE CUT. REMOVE LARGE LIMBS BY PERFORMING THE 3-CUT METHOD.





				$\frac{1}{7}$				8
				<u>í</u>				
Rayburn Electric Coope	ee Removal Listing rative- Indoor Shoo h 14, 2025		Rang	e				N
Common Name	Comments	Tre	e De	signa	tion	Removal Status	Replacement Caliper Inches	
		Feature	Primary	Secondary	Non-Protected			
ELM			х			Remove	4	
CEDAR				х		Remove	8	
CEDAR					х	Remove	0	
CEDAR					х	Remove	0	
CEDAR				х		Remove	7	
CEDAR					х	Remove	0	20 10 0 20
CEDAR				х		Remove	6	
CEDAR					х	Remove	0	
CEDAR					х	Remove	0	GRAPHIC SCALE IN FEET
CEDAR					х	Remove	0	SCALE: $1'' = 20'$
CEDAR					х	Remove	0	SCALE: $I = 20$
CEDAR					х	Remove	0	
CEDAR					х	Remove	0	
CEDAR					х	Remove	0	
CEDAR					х	Remove	0	
CEDAR					х	Remove	0	
CEDAR					х	Remove	0	
CEDAR				х		Remove	5.5	
CEDAR				х		Remove	6	
CEDAR					х	Remove	0	
CEDAR					х	Remove	0	$ \rangle \langle (c) \rangle \rangle$
CEDAR					х	Remove	0	
CEDAR				х		Remove	8	
CEDAR				х		Remove	8	
CEDAR					х	Remove	0	SITE LOCATION
CEDAR					х	Remove	0	
CEDAR					х	Remove	0	
CEDAR					х	Remove	0	
CEDAR					x	Remove	0	MIMS
CEDAR					x	Remove	0	
CEDAR					x	Remove	0	
CEDAR		1		х		Remove	5.5	
CEDAR					х	Remove	0	
CEDAR		1			x	Remove	0	
				-	^		58.0	LEGEND
	1	1	I	L			00.0	

EXISTING TREES TO REMAIN

EXISTING TREES TO BE REMOVED

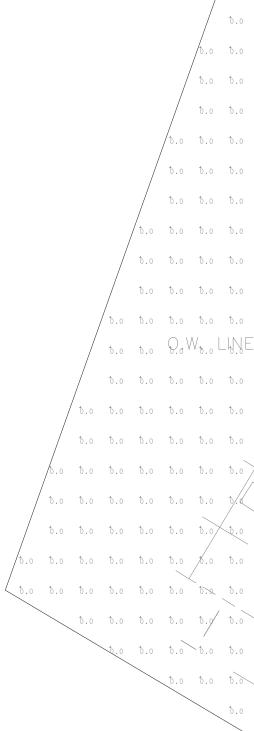
 \bigcirc

58 Total Caliper inches to be removed that require mitigation

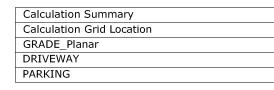
Secondary- 1/2" Caliper Inch per 1" Caliper removed required to replaced 1" Caliper Inch per 1" Caliper removed required to replaced 2" Caliper Inch per 1" Caliper removed required to replaced

Replacement Inches needed 58, Replace with 4" Caliper Trees 58"/4"= 15 Trees Required

	,		mmission of the City of Rockwall on the day of
——— Planr	ning & Zoning Cor	nmission, Chairma	Director of Planning and Zoning
6-21	DESIGN BY	BS	REC CAMPUS -
	_ CODE		INDOOR SHOOTING
/2025	CHECKED BY	00	
<mark>/2025</mark> Ast updat	CHECKED BY		LANDSCAPE PLANS
			LANDSCAPE PLANS
ST UPDAT	E BY		LANDSCAPE PLANS
ST UPDAT	e by Scale: AS	NOTED	<i>LANDSCAPE PLANS TREESCAPE PLAN</i>



Photometric Plan



Luminaire Schedule Type

Manufacturer / Catalog Number LITHONIA RSX1 LED P3 40K R3 MVOLT [MOUNT] DDBXD DM19AS @ 25' MH Total Lumen Output 14022

Total Input Watts 109.44

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.1 b.2 b.3 b.3 b.4 b.4 b.5 b.5 b.5 b.5 b.5 b.4 b.4 b.3 b.2
                                                                              b.1 b.2 b.3 b.4 b.5 b.6 b.6 b.7 b.7 b.6 b.6 b.5 b.5 b.4 b.3
                                                                             b.2 b.3 b.4 b.5 b.6 b.7 b.8 b.8 b.8 b.8 b.7 b.6 b.5 b.4 b.3
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                                                                                                                                                                                                                     Max/Min Ratio = 3.08
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                                                            t3/18 3.0 5.1
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MH: 25
                                                                                Avg/Min Ratio = 21.50
                                                           .0 0.0 0.0
                                                                                                                                                                                                                     Max/Min Ratio = 42.00
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                                                        \Phi_{\rm F} \Phi_{\rm F} \Phi_{\rm F}
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                                                 6 1.9 2.2 2.3 2.5
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                                                     Calc. Height (Ft.)
                                                                                                         Avg
0.49
                                                                                                                                                            Avg/Min
N.A.
                                                                                             Units
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                                                               Ballast Factor
                                                                                                                                      User Defined Factor
                                                                                               Light Lost Factor
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[†] 0.0	[†] 0.0	[†] 0.0	[*] 0.0	[†] 0.0	* 0.0	[†] 0.0	•.0	°.0	0.0	t.o	* 0.0	[*] 0.0	[†] 0.0	[†] 0.0	÷0.0	[†] 0.0
t.o	⁺ 0.0	ð.o	[†] 0.0	t.o	[†] 0.0	t.o	[†] 0.0	[*] 0.0	0.0	t.o	[†] 0.0	[†] 0.0	[†] 0.0	t.o	[†] 0.0	ð.o
[†] 0.1	0.1	[†] 0.0	[*] 0.0	[†] 0.0	* 0.0	[†] 0.0	•.0	[*] 0.0	0.0	t.o	* 0.0	[*] 0.0	0.0	[†] 0.0	÷.0	[†] 0.0
ð.1	0.1	ð.1	[†] 0.0	t.o	[†] 0.0	t.o	[†] 0.0	°.0	0.0	t.o	⁺0.0	[†] 0.0	₽.0	t.o	[†] 0.0	ð.o
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0.2	0.1	ð.1	0.1	ΰ.1	0.1	t.o	[†] 0.0	°.0	0.0	t.o	₽.0	°.0	\$.0	[†] 0.0	[†] 0.0	ō.o
0.2	0.1	ð.1	[*] 0.1	[†] 0.1	[*] 0.1	[†] 0.1	*0.0	[*] 0.0	[†] 0.0	t .0	0.0	°.0	/to.o	[†] 0.0	[†] 0.0	ō.o
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ზ.з	t .2	0.2	0.1	ð.1	0.1	0.1	0.1	t.0	0.0	t.o	0.0	÷./0	* 0.0	t.o	[†] 0.0	ð.0
[†] .з	t.3	0.2	† 0.2	[†] 0.1	[*] 0.1	[†] 0.1	0.1	[†] 0.1	[†] 0.0	t.o	÷.0	ţ. 0	[†] 0.0	t.o	[†] 0.0	t.o
* 0.4	b .3	0.2	°.2	ΰ.1	0.1	ΰ.1	[†] 0.1	0.1	0.0	t.o	[†] 0.0	0.0	[†] 0.0	0.0	[†] 0.0	t.o
0.4	0 .3	ð.3	† 0.2	[†] 0.2	[*] 0.1	[†] 0.1	[*] 0.1	[†] 0.1	[†] 0.0	† .0	t.o /	t.o	to.o	[†] 0.0	⁺ 0.0	t.o
t.5	0.4	ð.3	[†] 0.2	ð.2	0.1	ð.1	[†] 0.1	0.1	[†] 0.0	t.o	t. 0	[†] 0.0	t.o	ħ.0	[†] 0.0	ð.o
[†] 0.6	0.5	0. 4	[†] 0.3	0 .2	* 0.2	0.1	[*] 0.1	0.1	0.0	* .0	ъ.,	•0.0	[†] 0.0	⁺0.0	÷.0	ō.o
ð.7	0.5	0 .4	[†] 0.3	ð.2	[†] 0.2	ΰ.1	0.1	0.1	0.0	ħ.0	to∕. o	÷.0	[†] 0.0	0.0	[†] 0.0	ð.o
00.8	∕ ⁴ 0.6	0.5	* 0.4	[†] 0.3	•0.2	0.1	•0.1	[†] 0.1	0.0	* • •	0.0	* 0.0	[†] 0.0	⁺ 0.0	÷0.0	[†] 0.0
ð.9	b .7	ð.5	† 0.4	ð.3	[†] 0.2	ð.1	ð.1	0.1	[†] 0.0	9.0	(to.o	[†] 0.0	to.o	t.o	[†] 0.0	ð.o
1.0	[†] 0.8	[†] 0.6	* 0.4	⁺ 0.3	[†] 0.2	0.2	[†] 0.1	[†] 0.1	⁺ 0.0		* 0.0	[†] 0.0	[†] 0.0	⁺ 0.0	[†] 0.0	[†] 0.0
1.1	Ť.8	ð.6	0.5	ð.3	[†] 0.2	ð.1	[†] 0.1	0.1	0.0	t.d	ΰ.ο	[*] 0.0	t.o	t.o	[†] 0.0	ð.o
1.3	1.0	<u>.</u> 7	÷.5	<u>.</u>	<u>†</u> .2	<u>.</u>	<u>t</u> 1	0.1	[†] 0.0	to do	0.0	°.0	[†] 0.0	[†] 0.0	[†] 0.0	ō.o
1.4	1.1	ð.8	0.5	ð.3	[†] 0.2	ð.1	†.1 N	0.1	÷.0	ŧ.o	+0.0	[†] 0.0	[†] 0.0	[†] 0.0	[†] 0.0	ō.o
1.5	1.1	ō.8	0.5	t.3	•0.2	þ.1		0.1	[†] 0.0	/t.o	† 0.0	÷.0	to.0	0.0	[†] 0.0	ō.o
1.6	1.1	ð.8	0.5	ð.3	•0.2	þ.1	+ O.1 ~	0.1	ħ.0	(t.o	₽.0	÷.0	[†] 0.0	[†] 0.0	[†] 0.0	t.o
1.7	1.1	<u>ð.7</u>	10.4	to.3	•0.2	Ď.1	<u>0.</u> 1	[†] 0.1	to.0	t.o	t .0	÷.0	[†] 0.0	0.0	[†] 0.0	ō.o
1.7	1.1	\$.6	* 0.4	ð.3	•0.2	0.1	[†] 0.1	0.1	to .h	t.0	* , ,	*o.o	₽.0	[†] 0.0	[†] 0.0	
1.6	[†] 1.0	Ď.6	* 0.4	t.3	•0.2	t.1	[†] 0.1	0.1	ţ.1	t.o	† 0.0	to.0	[†] 0.0	0.0	[†] 0.0	
1./	/ 5.9S	5T•R	P*0-4	\$₫(to <u> .</u> ₂A	BEL	-1	0.1	0.1	t.o	0.0	÷ 0.0	[†] 0.0	[†] 0.0	[†] 0.0	
1.4	", 0.9	N _t Q	P.A	RţĶ.	N ₁ G ₂ "	ΰ.1	t .1	[†] 0.1	0.1	t.o	0.0	°.0	[†] 0.0	[†] 0.0		
1.3	t.9	ð.7	0.5	ð.3	[†] 0.2	ΰ.1	[†] 0.1	[†] 0.1	0.1	t.o	0.0	÷.0	[†] 0.0	[†] 0.0		
1.2	1.0	ð. 7	0.5	t.3	$\overset{*}{\supset}^{2}$	[†] .2	[†] 0.1	ŧ.,	0.1	t.o	0.0	°.0	[†] 0.0	[†] 0.0		
1.1	t.9	ð.7	°.5	ð.3	<u> </u>		t _{0.1}	[†] 0, 1	0.1	t.o	0.0	÷.0	[†] 0.0	[†] 0.0		
ħ.9	b .8	0 .6	* 0 .4	ð.3	t 0.2	[†] .1	t .1	t.1	0.1	t.o	÷.0	t.o	[†] 0.0			
ð .7	[†] 0.6	ð.5/	to.3	t.2	0.2	0.1	[†] 0.1	0.1	0.1	t.o	₽.0	÷.0	₽.0			
0.5	* 0.4	10.3	t 0. 3	[†] 0.2	[†] 0.1	[†] 0.1	[†] 0.1	[†] 0.1	0.1	t.o	* 0.0	t.o	[†] 0.0			
† 0.4	t.,	ъ.з	[†] 0.2	ť.2	0.1	ð.1	[†] 0.1	[†] 0.1	[†] 0.0	t.o	÷.0	[†] 0.0	* 0.0			
ъ.з	/t0.2	t.2	† 0.2	ð.1	[†] 0.1	ð.1	[†] 0.1	0.1	[†] 0.0	t.o	to.0	[†] 0.0				
t).2	0.2	t.2	[†] 0.1	ð.1	0.1	ð.1	[†] 0.1	0.1	0.0	t.o	t.o	⁺ 0.0				
ð.2	[†] 0.2	[†] 0.1	[†] 0.1	[†] .1	[†] 0.1	[†] 0.1	[†] 0.1	[†] 0.0	[†] 0.0	t .0	[†] 0.0	t.o				
[†] 0.2	[†] 0.1	[†] 0.1	[†] 0.1	b .1	[†] 0.1	b .1	[†] 0.0	[†] 0.0	÷.0	t.o	[†] 0.0	[†] 0.0				
t.2	b .1	ð.1	[†] 0.1	t.1	t .1	t.1	* 0.0	t .0	[†] 0.0	t.o	* 0.0					
[†] 0.1	[†] 0.1	ð.1	[†] 0.1	[†] .1	[†] 0.1	[†] 0.0	[†] 0.0	t.o	[†] 0.0	t.o	[†] 0.0					
[†] 0.1	[†] 0.1	[†] 0.1	[†] 0.1	[†] .1	[†] 0.1	to.0	[†] 0.0	[†] 0.0	[†] 0.0	t .0						
[†] 0.1	[†] 0.1	[†] 0.1	[†] 0.1	[†] 0.1	[†] 0.0	[†] 0.0	[†] 0.0	to.0	[†] 0.0	[†] 0.0						1
[†] 0.1	[†] 0.1	[†] 0.1	[†] 0.1	t.1	[†] 0.0	t.o	† 0.0	[*] 0.0	† 0.0							
[†] 0.1	[†] 0.1	[†] 0.1	[†] 0.1	[†] 0.1	* 0.0	[†] 0.0	* 0.0	t.o								
ð.1	[†] 0.1	ΰ.1	[†] 0.1	ð.1	÷.0	† .0	÷.0							/		
[†] 0.1	[†] 0.1	[†] 0.1	[†] 0.1	t.o	† 0.0	t.o	[†] 0.0						/			
[†] 0.1	[†] 0.1	[†] .1	[†] 0.1	ħ.0	† 0.0	† .0										
t.1	[†] 0.1	0 .1	[†] 0.1	⁺ 0.0	* 0.0											
[†] 0.1	[†] 0.1	[†] 0.1	[†] 0.1	t.o	÷.0							/				
[†] 0.1	[†] 0.1	[†] 0.1	[†] 0.0	t.o						/						
ð.1	[†] 0.1	ħ.0	† 0.0						/							
t.1	[†] 0.1	ħ.0	[†] 0.0					,								
[†] 0.1	÷.0	t.o														
[†] 0.0	[†] 0.0															
to.0						/										
t.o					/	/	4	V								
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GRAPHIC SCALE IN FEET SCALE: 1'' = 20'



DESIGN TEAM

OWNER: **RAYBURN ELECTRIC CO-OP** 950 SIDS RD. ROCKWALL, TX 75032 P: 469.402.2100

PULLIAM CONSTRUCTION MANAGEMENT

CONSTRUCTION MANAGER: 303 S. JACKSON ST., SUITE 100 WYLIE, TEXAS 75098 P: 972.442.0400

ARCHITECT: MCCARTHY ARCHITECTURE

1000 N. FIRST ST. GARLAND, TX. 75040 P: 972.272.2500

STRUCTURAL ENGINEER: **BLAKE WILSON**

ENGINEERING, PLLC 1848 NORWOOD PLAZA SUITE 114 HURST, TEXAS 76054 P: 817.268.2345 P P: 817.282.1636 F

MEP ENGINEERING: MEP SYSTEMS 918 DRAGON ST DALLAS, TEXAS 75207 P: 214.915.0929

ISSUE

SEAL

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